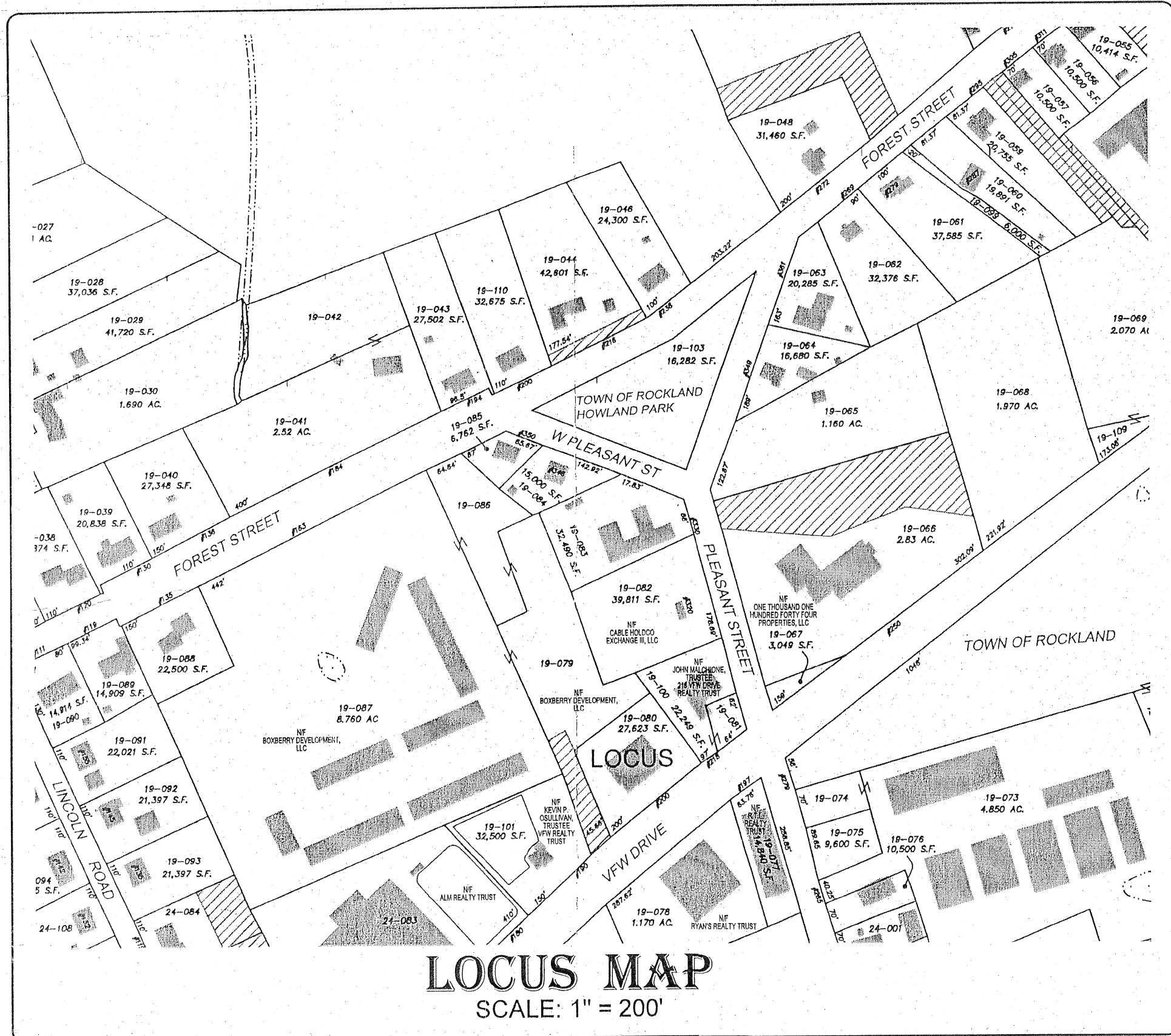




LEGEND

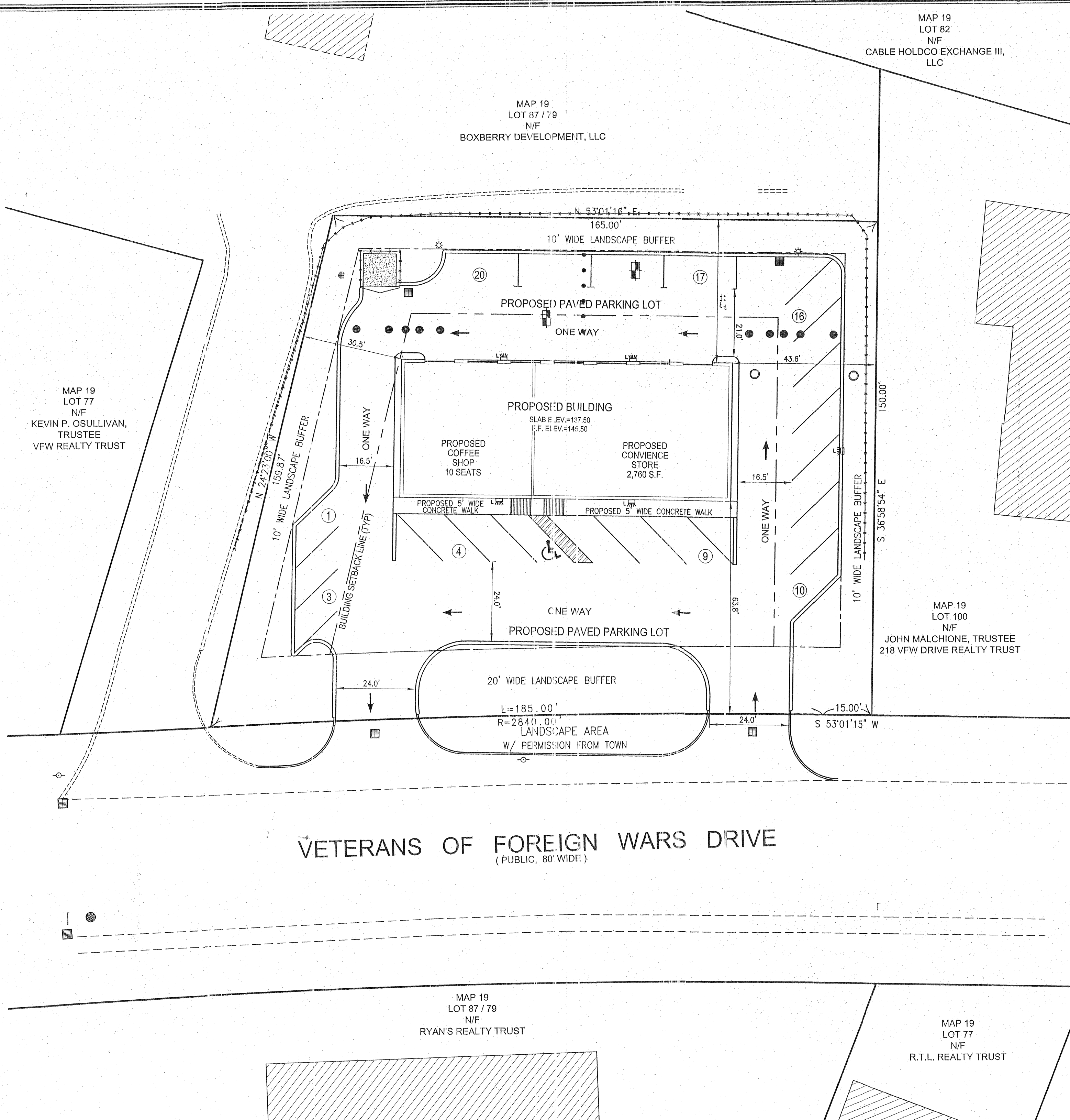
CONCRETE BOUND.....	CB
EXIST. 2' CONTOUR.....	61
EXIST. 10' CONTOUR.....	65
PROP. SPOT GRADE.....	72x00
CAPE COD BERM.....	W
PROP. WATER LINE.....	P80
PROP. CONTOUR.....	P80
PROP. CATCHBASIN.....	
PROP. DRAIN MANHOLE.....	
TRAFFIC FLOW ARROW.....	
OUTDOOR LIGHTING ON BUILDING.....	
EXISTING UTILITY POLE.....	UP#
EXISTING FENCE LINE.....	

ROCKLAND PLANNING BOARD
SITE PLAN APPROVAL WITH CONDITIONS
 DATE: 9/16/2014
 CHAIRMAN
 VICE CHAIRMAN
 CLERK
 ROCKLAND PLANNING BOARD

SITE PLAN APPROVAL
 DATE: _____

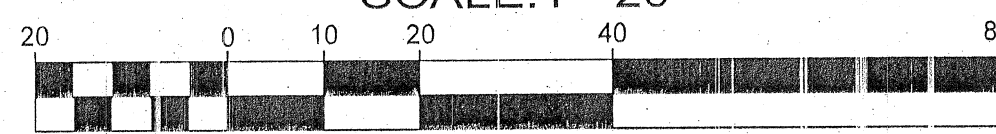
 ROCKLAND PLANNING BOARD

JOSEPH E. WEBBY, JR.
 No. 28717
 REGISTERED
 PROFESSIONAL LAND SURVEYOR
 DATE: 9/23/14



'SITE' PLAN OF LAND IN ROCKLAND, MASSACHUSETTS

PREPARED FOR
JOHN MALCHIONE
WEBBY ENGINEERING ASSOCIATES, INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 180 COUNTY ROAD, PLYMPTON MA. 02367
 Tel.: (781)-585-1164
 SCALE: 1"=20'



JOHN C. VERACCA, JR.
 No. 25537
 REGISTERED
 PROFESSIONAL ENGINEER
 DATE: 9/23/14

ROCKLAND ZONING DIMENSIONAL REQUIREMENTS

DISTRICT	LOT AREA IN SQUARE FEET	MIN. FRONTAGE IN FEET	MIN. YARD IN FEET			MAX. % BUILDING COVERAGE	MAX. BUILDING HEIGHT IN FEET / STORIES
			FRONT	SIDE	REAR		
B-2 (BUSINESS II ZONING)	32,670	110	20	30	30	80%	36 / 3.0

PROPOSED DIMENSIONS

B-2 (BUSINESS II ZONING)	27,640	200.00	55.1	31.1	45.0'	18.08 % (5,000 S.F.)	29.7 % (84,190 S.F.)	27
--------------------------	--------	--------	------	------	-------	----------------------	----------------------	----

- NOTES:**
- LOCUS IS SHOWN AS LOT 80 ON MAP 19 OF THE TOWN OF ROCKLAND ASSESSORS PLANS.
 - LOT SIZE : 27,640 S.F.
 - EXISTING USE : VACANT
 PROPOSED USE : CONVENIENCE STORE AND COFFEE SHOP
 - ZONING: LOCUS LIES IN A B-2 ZONING DISTRICT
 - PROPOSED BUILDING SIZE : 100' L x 42' W (4,200 S.F.)
 (2,520 S.F. - CONVENIENCE STORE)
 (1,680 S.F. - COFFEE SHOP)
 - THE PROPOSED BUILDING IS A 1-STORY FRONT FOR RETAIL AND COFFEE SHOP WITH A LOWER LEVEL CELLAR HAVING WALK-OUT AND OVERHEAD DOORS FOR STORAGE IN THE REAR. (THE CELLAR AREA IS NOT INCLUDED IN THE SQUARE FOOTAGE CALCULATIONS) THE MATERIAL OF THE BUILDING IS STEEL AND CONCRETE BLOCK.
 - PROPOSED PARKING REQUIREMENTS:
 RETAIL - 1 SPACE PER 300 S.F. OF FLOOR AREA
 & 1 SPACE PER 2 EMPLOYEES
 2,760 S.F. / 300 = 10 + 2 EMPLOYEES : 12 SPACES
 RESTAURANT (COFFEE SHOP) - 1 SPACE PER 2 SEATS
 & 1 SPACE PER 2 EMPLOYEES
 10 SEATS / 2 = 5 + 2 EMPLOYEES : 7 SPACES
 TOTAL NUMBER OF PARKING SPACES REQUIRED : 19 SPACES
 TOTAL NUMBER OF PARKING SPACES PROVIDED : 20 SPACES
 - ANY PROPOSED SITE LIGHTING TO BE DIRECTED AWAY FROM ABUTTING PROPERTIES AND STREETS.

RECORD OWNER & APPLICANT:
 JAM REAL ESTATE MANAGEMENT LLC
 JOHN MALCHIONE
 416 PLAIN STREET
 ROCKLAND, MA 02370

REVISIONS		SCALE: 1"=20'
DATE	DESCRIPTION	DATE: 9/9/13
11/4/13	REVISED PER REVIEW LETTER DATED 10/23/13	DRAWN BY: GTH
12/2/13	REVISED PARKING LAYOUT & BUILDING SIZE	JOB NO.: W-4444
12/7/13	REVISED PARKING LAYOUT	SHEET NO.: 1
8/25/14	REVISED PER REVIEW COMMENTS	OF 5 SHEET