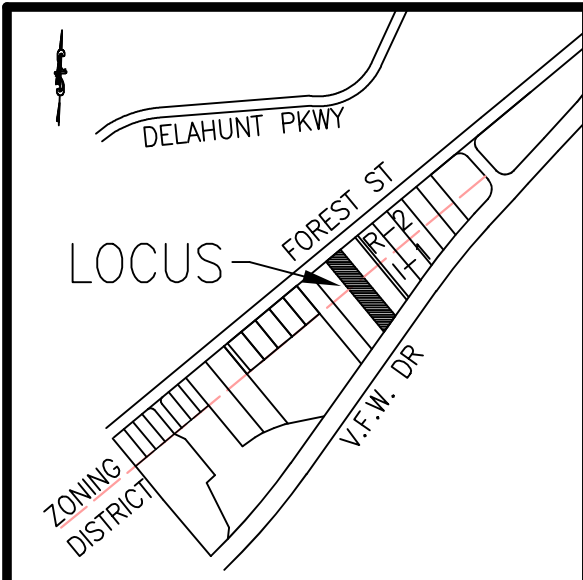


PROPOSED SITE PLAN
421 FOREST STREET
(ASSESSOR'S PARCEL: 14-79)
ROCKLAND, MASSACHUSETTS



VICINITY MAP
NOT TO SCALE



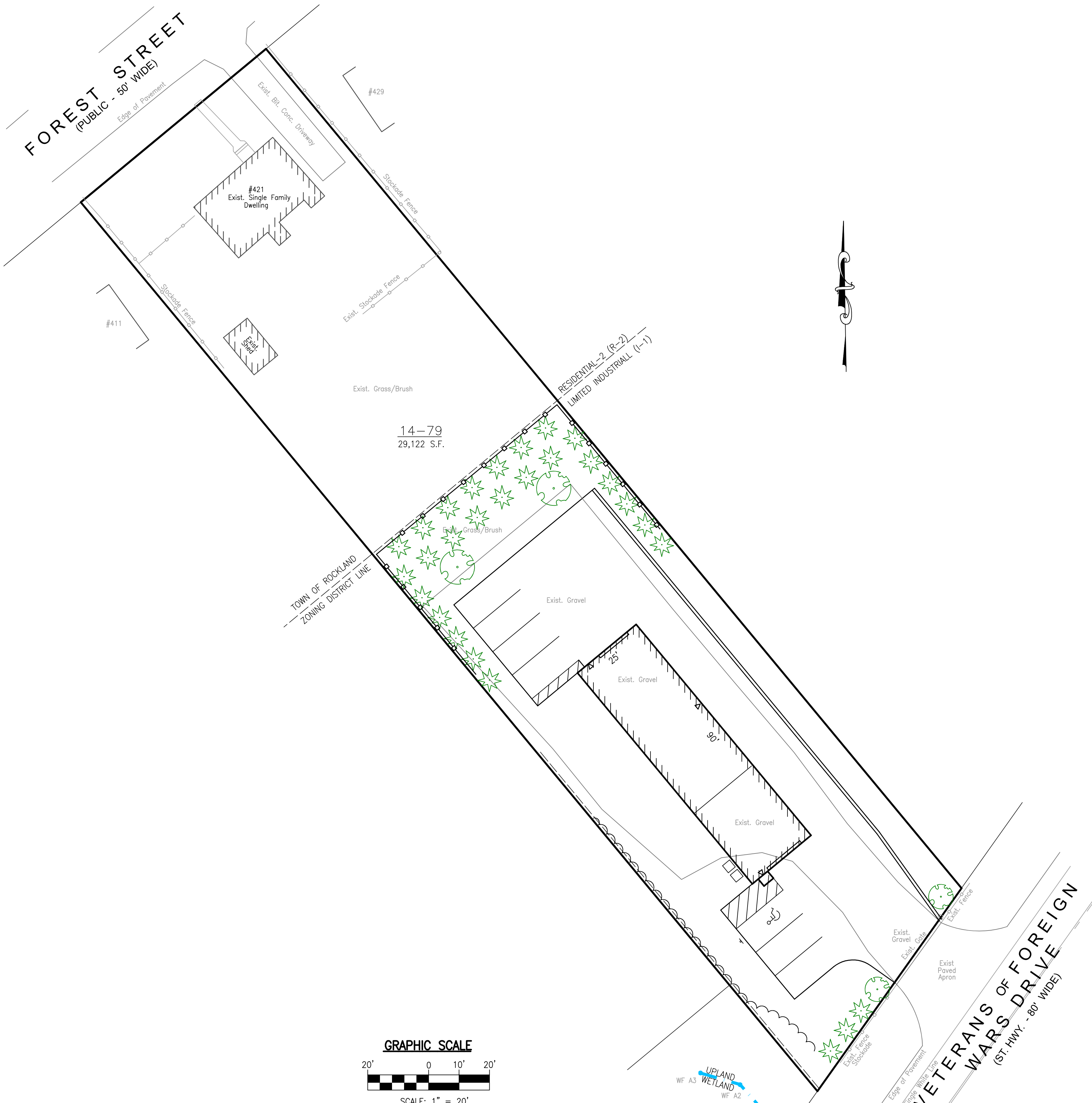
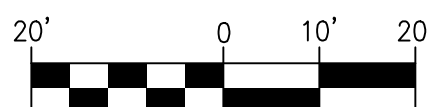
LEGEND

BH	BULK HEAD
BIT	BITUMINOUS
BK	BOOK
BP	BEANPOLE
CCB	CAPE COD BERM
CIP	CAST IN PLACE CURB
CBN	CATCH BASIN
DH	DRILL HOLE
DMH	DRAIN MAN HOLE
EM	ELECTRIC METER
EP	EDGE OF PAVEMENT
EXIST	EXISTING
GW	GUY WIRE
HH	HAND HOLE
HYD	HYDRANT
I	INVERT
IP	IRON PIPE
IR	IRON ROD
LP	LIGHT POLE
MH	MAN HOLE
MW	MONITORING WELL
N/F	NOW OR FORMERLY
OHW	OVERHEAD WIRES
PG	PAGE
PROP	PROPOSED
R/C	REBAR & CAP
SMH	SEWER MAN HOLE
TYP	TYPICAL
UP	UTILITY POLE
VCC	VERTICAL CONCRETE CURBING
VGC	VERTICAL GRANITE CURBING
WS	WATER SERVICE

GENERAL NOTES

- DEED REFERENCES: BOOK 50431 PAGE 48
- RECORD OWNERS: DENNIS BENOIT & MELISSA MCINNIS
- PLAN REFERENCES: PLAN BOOK 9 PAGE 257
- THE SUBJECT PROPERTY IS LOCATED WITHIN THE TOWN OF ROCKLAND RESIDENCE-2 & LIMITED INDUSTRIAL ZONING DISTRICTS.
- THE SUBJECT PROPERTY IS LOCATED WITHIN THE TOWN OF COHASSET WATER RESOURCE DISTRICT.
- THIS PLAN IS BASED ON A GROUND SURVEY PERFORMED BY MORSE ENGINEERING COMPANY, INC. BETWEEN OCTOBER 2022 AND JULY 2023.
- WETLAND RESOURCE AREAS WERE DELINEATED BY BRAD HOLMES, P.W.S. OF ENVIRONMENTAL CONSULTING & RESTORATION, LLC ON JUNE 13, 2023.
- THE SUBJECT PROPERTY LIES IN ZONE "X" AS SHOWN ON FEMA COMMUNITY MAP PANEL 25023C 0093K DATED JULY 16, 2021. ZONE "X" IS NOT CONSIDERED TO BE A SPECIAL FLOOD HAZARD AREA.
- THE SUBJECT PROPERTY DOES NOT LIE WITHIN A DEP DESIGNATED ZONE II RESOURCE AREA.
- THE SUBJECT PROPERTY DOES NOT LIE WITHIN A DEP ZONE A SURFACE WATER SUPPLY
- UTILITIES SHOWN ON THIS PLAN ARE BASED ON OBSERVANCE OF ABOVE GROUND UTILITIES AND RECORD LOCATION OF BELOW GROUND UTILITIES. NO WARRANTY IS EXPRESSED OR IMPLIED AS TO THE ACCURACY OF THE LOCATIONS OF SAID UTILITIES, OR THE EXISTENCE OR NON EXISTENCE OF ANY OTHER SUCH UTILITIES.
- THE CONTRACTOR SHALL CONTACT DIG SAFE (888-344-7233) AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY FIELD CHANGES.

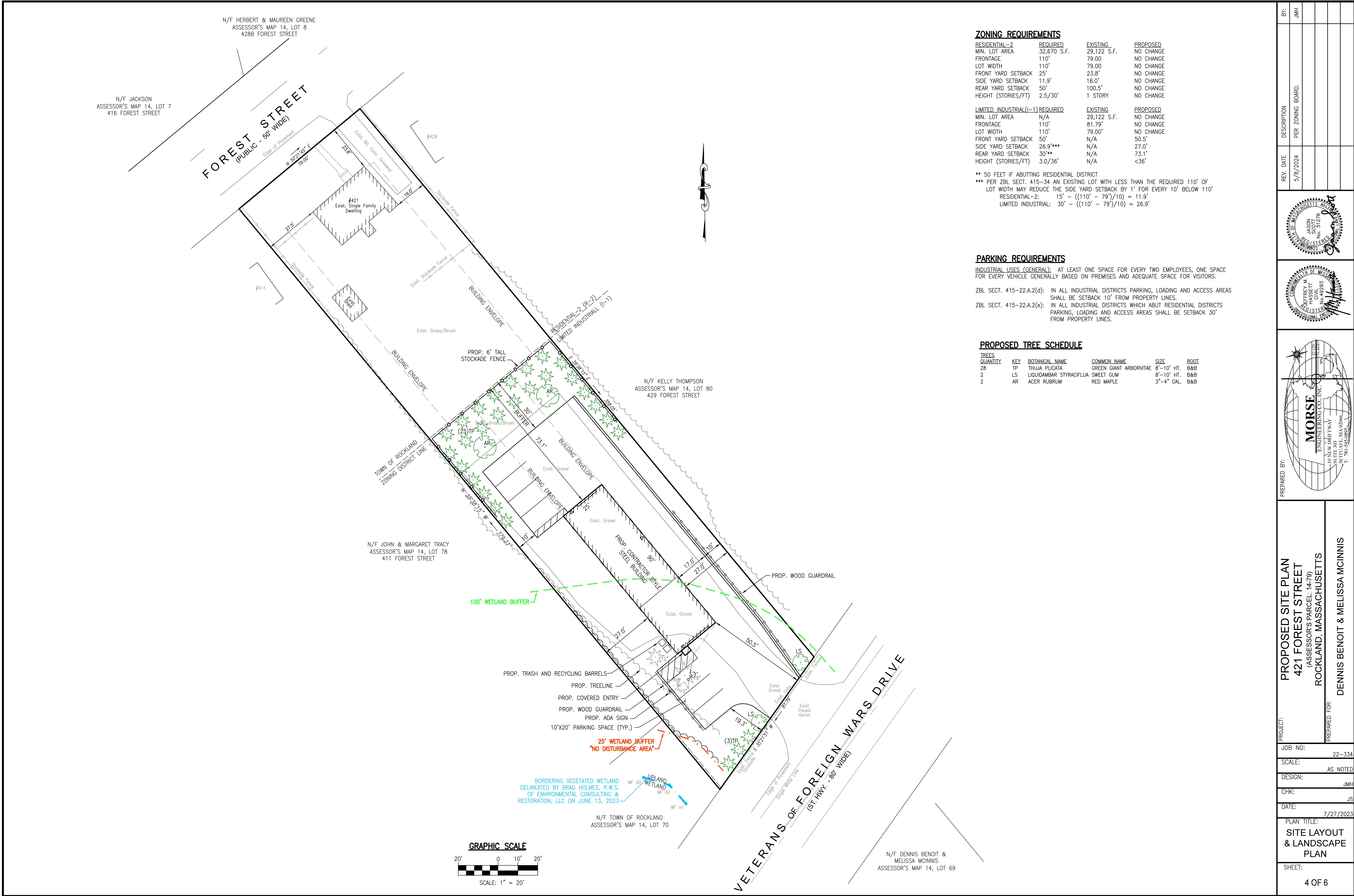
GRAPHIC SCALE



INDEX TO DRAWINGS

PLAN	DESCRIPTION
1	COVER SHEET
2	EXISTING CONDITIONS PLAN
3	EROSION CONTROL PLAN
4	SITE LAYOUT & LANDSCAPE PLAN
5	GRADING & UTILITIES PLAN
6	CONSTRUCTION DETAILS

PROJECT:	PROPOSED SITE PLAN 421 FOREST STREET (ASSESSOR'S PARCEL: 14-79) ROCKLAND, MASSACHUSETTS	JOB NO:	22-334
PREPARED BY:	DENNIS BENOIT & MELISSA MCINNIS	SCALE:	AS NOTED
DESIGN:		CHK:	JMH
DATE:	7/27/2023	DATE:	7/27/2023
PLAN TITLE:	COVER SHEET	SHEET:	1 OF 6
REVISIONS:			
REV. DATE	5/8/2024	DESCRIPTION	PER ZONING BOARD.
BY:	JMH		



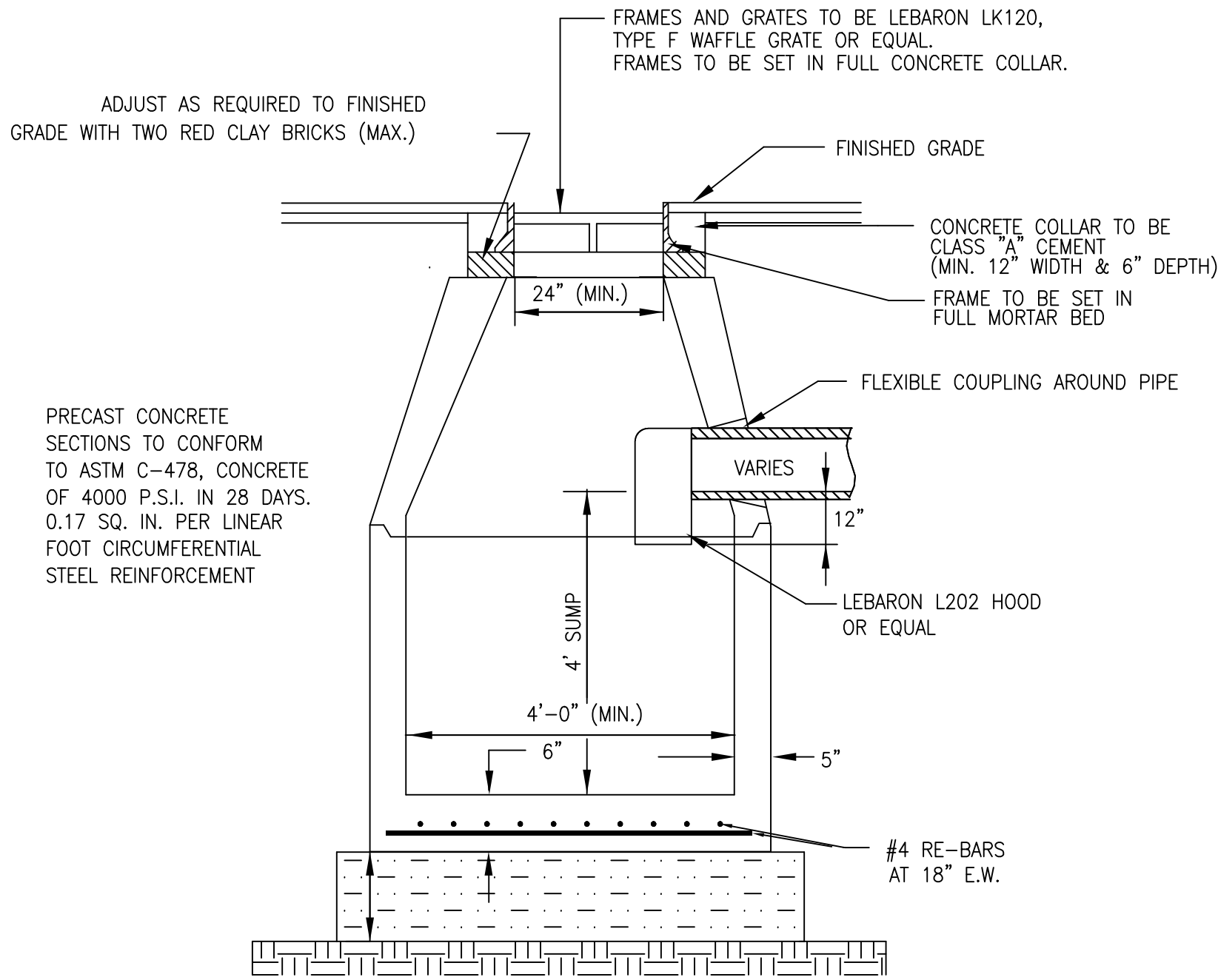
ZONING REQUIREMENTS			
RESIDENTIAL-2	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	32,670 S.F.	29,122 S.F.	NO CHANGE
FRONTAGE	110'	79.00	NO CHANGE
LOT WIDTH	110'	79.00	NO CHANGE
FRONT YARD SETBACK	25'	23.8'	NO CHANGE
SIDE YARD SETBACK	11.9'	16.0'	NO CHANGE
REAR YARD SETBACK	50'	100.5'	NO CHANGE
HEIGHT (STORIES/FT)	2.5/30'	1 STORY	NO CHANGE

LIMITED INDUSTRIAL(I-1)	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	N/A	29,122 S.F.	NO CHANGE
FRONTAGE	110'	81.79'	NO CHANGE
LOT WIDTH	110'	79.00'	NO CHANGE
FRONT YARD SETBACK	50'	N/A	50.5'
SIDE YARD SETBACK	26.9'***	N/A	27.0'
REAR YARD SETBACK	30'***	N/A	73.1'
HEIGHT (STORIES/FT)	3.0/36'	N/A	<36'

** 50 FEET IF ABUTTING RESIDENTIAL DISTRICT
*** PER ZBL SECT. 415-34 AN EXISTING LOT WITH LESS THAN THE REQUIRED 110' OF LOT WIDTH MAY REDUCE THE SIDE YARD SETBACK BY 1' FOR EVERY 10' BELOW 110'
RESIDENTIAL-2: 15' - ((110' - 79')/10) = 11.9'
LIMITED INDUSTRIAL: 30' - ((110' - 79')/10) = 26.9'

PARKING REQUIREMENTS
INDUSTRIAL USES (GENERAL): AT LEAST ONE SPACE FOR EVERY TWO EMPLOYEES, ONE SPACE FOR EVERY VEHICLE GENERALLY BASED ON PREMISES AND ADEQUATE SPACE FOR VISITORS.
ZBL SECT. 415-22.A.2(d): IN ALL INDUSTRIAL DISTRICTS PARKING, LOADING AND ACCESS AREAS SHALL BE SETBACK 10' FROM PROPERTY LINES.
ZBL SECT. 415-22.A.2(e): IN ALL INDUSTRIAL DISTRICTS WHICH ABUT RESIDENTIAL DISTRICTS PARKING, LOADING AND ACCESS AREAS SHALL BE SETBACK 30' FROM PROPERTY LINES.

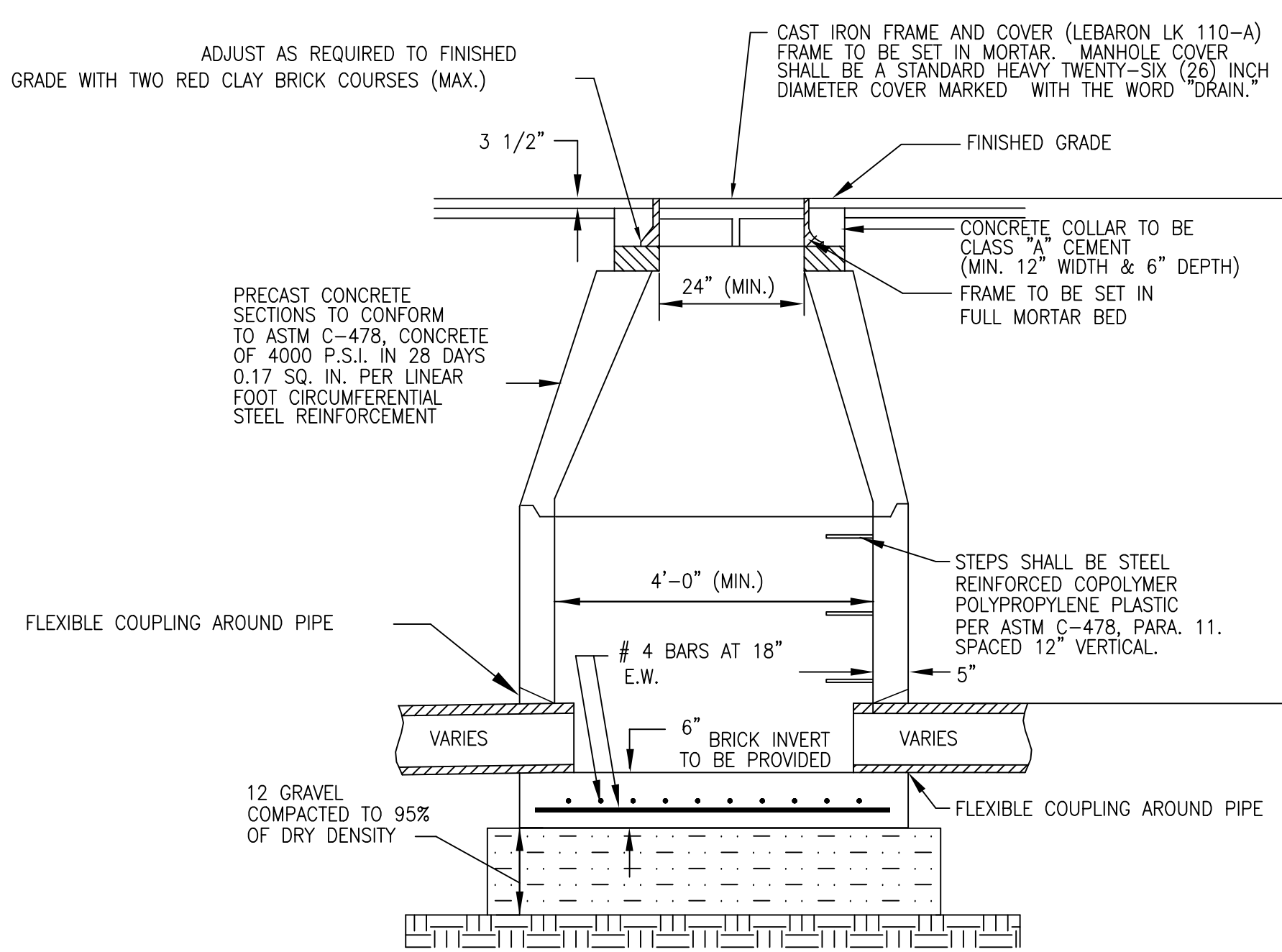
PROPOSED TREE SCHEDULE					
TREES QUANTITY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT
28	TP	THUJA PLICATA	GREEN GIANT ARBORVITAE	8'-10' HT.	B&B
2	LS	LIQUIDAMBAR STYRACIFLUA	SWEET GUM	8'-10' HT.	B&B
2	AR	ACER RUBRUM	RED MAPLE	3"-4" CAL.	B&B



STORM DRAIN NOTES:

1. REINFORCED CONCRETE DRAIN PIPE SHALL BE CLASS IV UNLESS OTHERWISE NOTED.
2. DRAIN PIPES WITH LESS THAN 3' OF COVER SHALL BE CLASS V HDPE.
3. BACKFILL SHALL BE COMPACTED TO 95% MAXIMUM DRY DENSITY BY AASHTO T-180D METHOD.
4. SHEETING, IF USED, SHALL BE CUT OFF NO MORE THAN 12" ABOVE TOP OF PIPE.
5. UNSUITABLE SOIL BELOW THE INVERT SHALL BE REMOVED AND REPLACED WITH APPROVED MATERIAL AND SHALL NOT BE USED AS BACKFILL.
6. BRICKS SHALL BE RED CLAY.

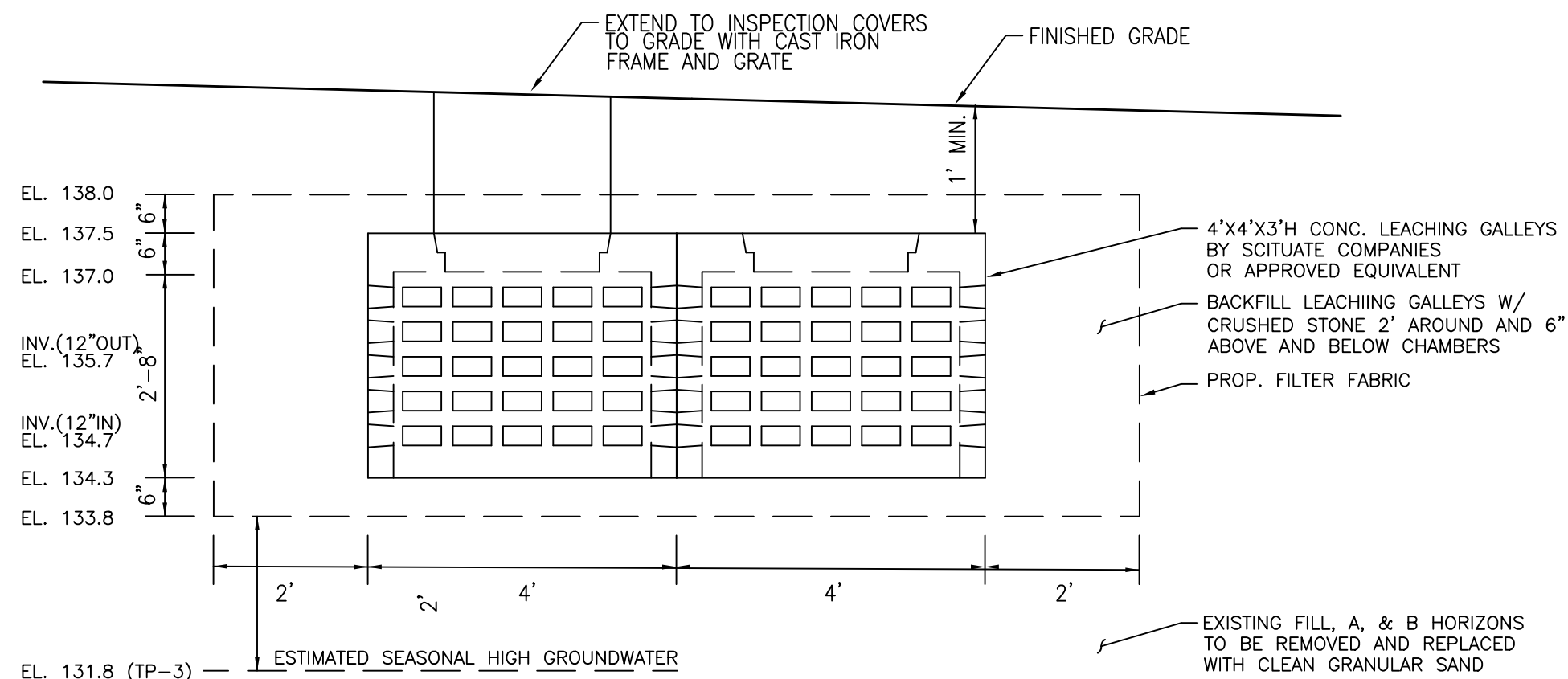
STANDARD CATCH BASIN DETAIL
NOT TO SCALE



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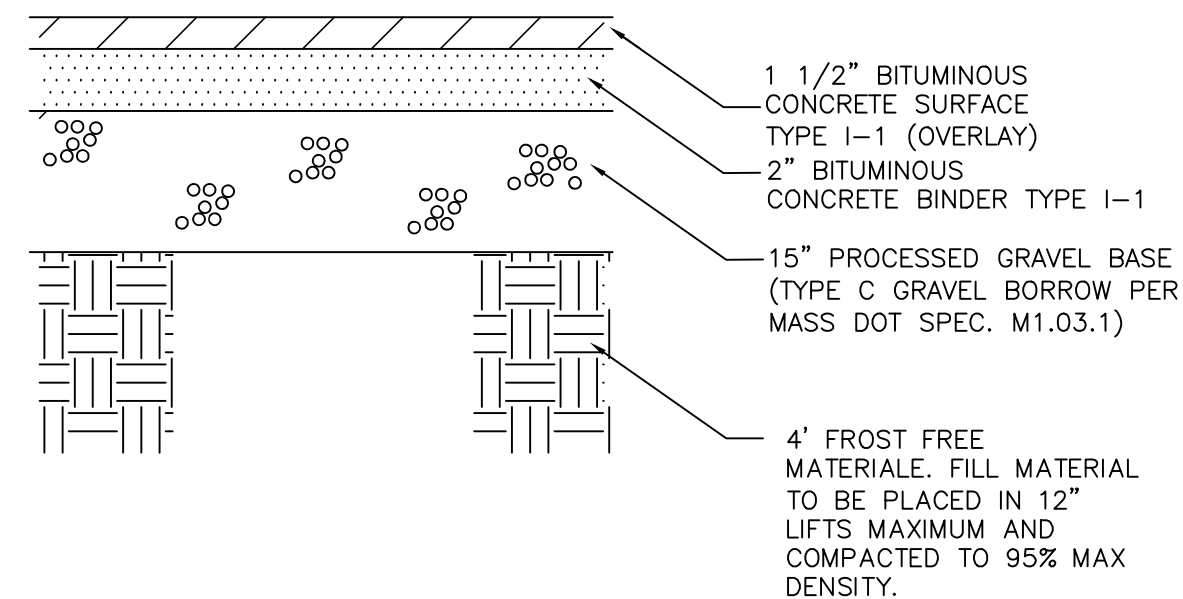
STANDARD MANHOLE DETAIL
NOT TO SCALE



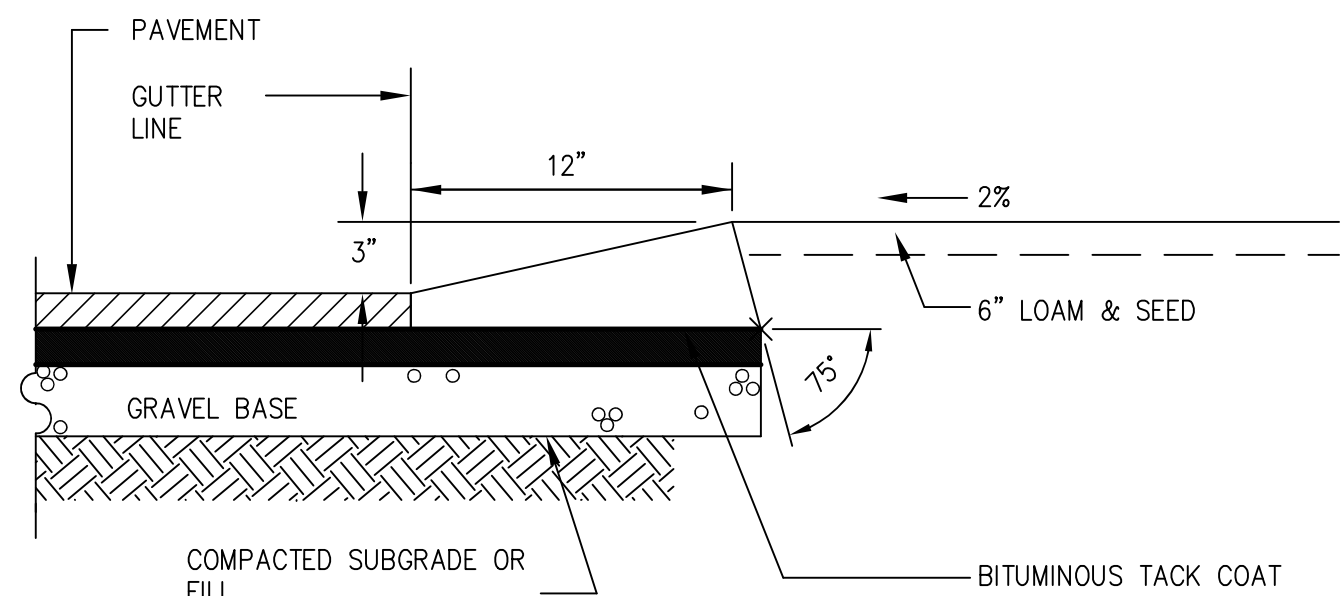
NOTES:

1. ALL ROOF LEADERS SHALL BE EQUIPPED WITH DOWNSPOUT STRAINERS.
2. NO CONSTRUCTION ACTIVITY (TRAFFIC) SHALL BE ALLOWED OVER THE LEACHING DRY WELL AREAS.
3. NO CONSTRUCTION SURFACE WATER OR DEWATERING DISCHARGES SHALL BE DISCHARGED INTO THE SUBSURFACE LEACHING LOCATIONS.

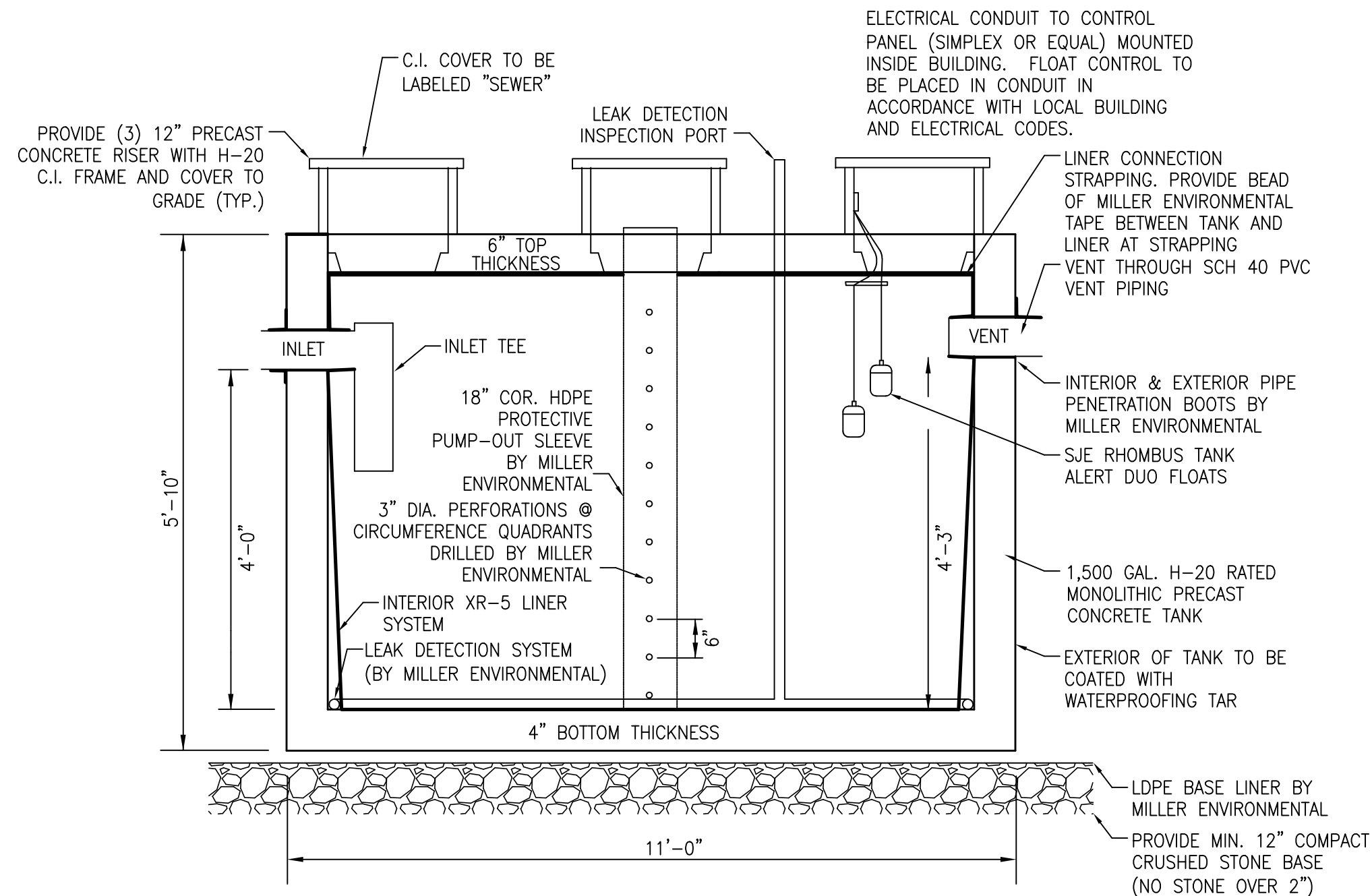
SUBSURFACE LEACHING SYSTEM
NOT TO SCALE



STANDARD BITUMINOUS CONCRETE PAVEMENT DETAIL
NOT TO SCALE



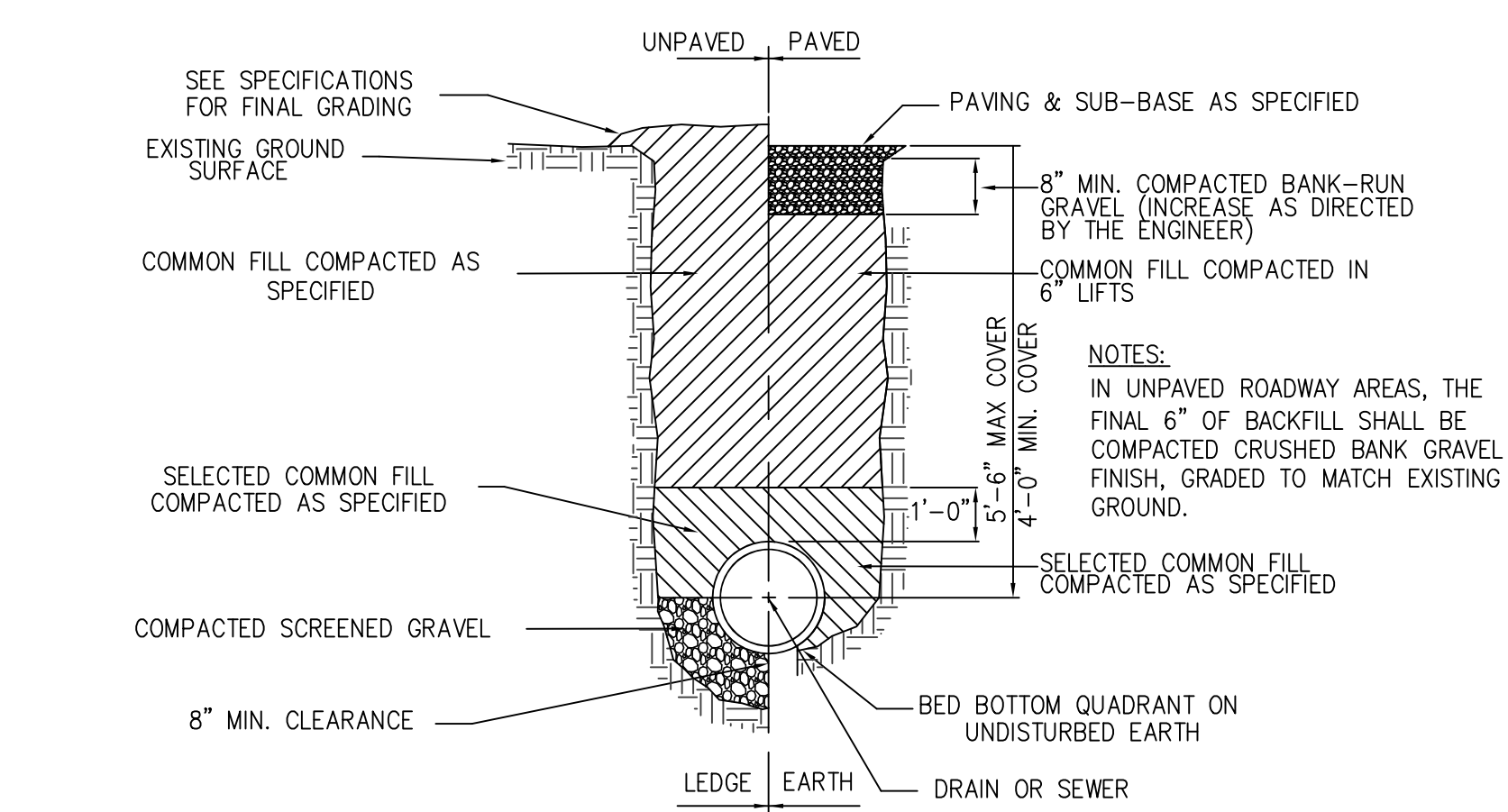
CAPE COD BERM DETAIL
NOT TO SCALE



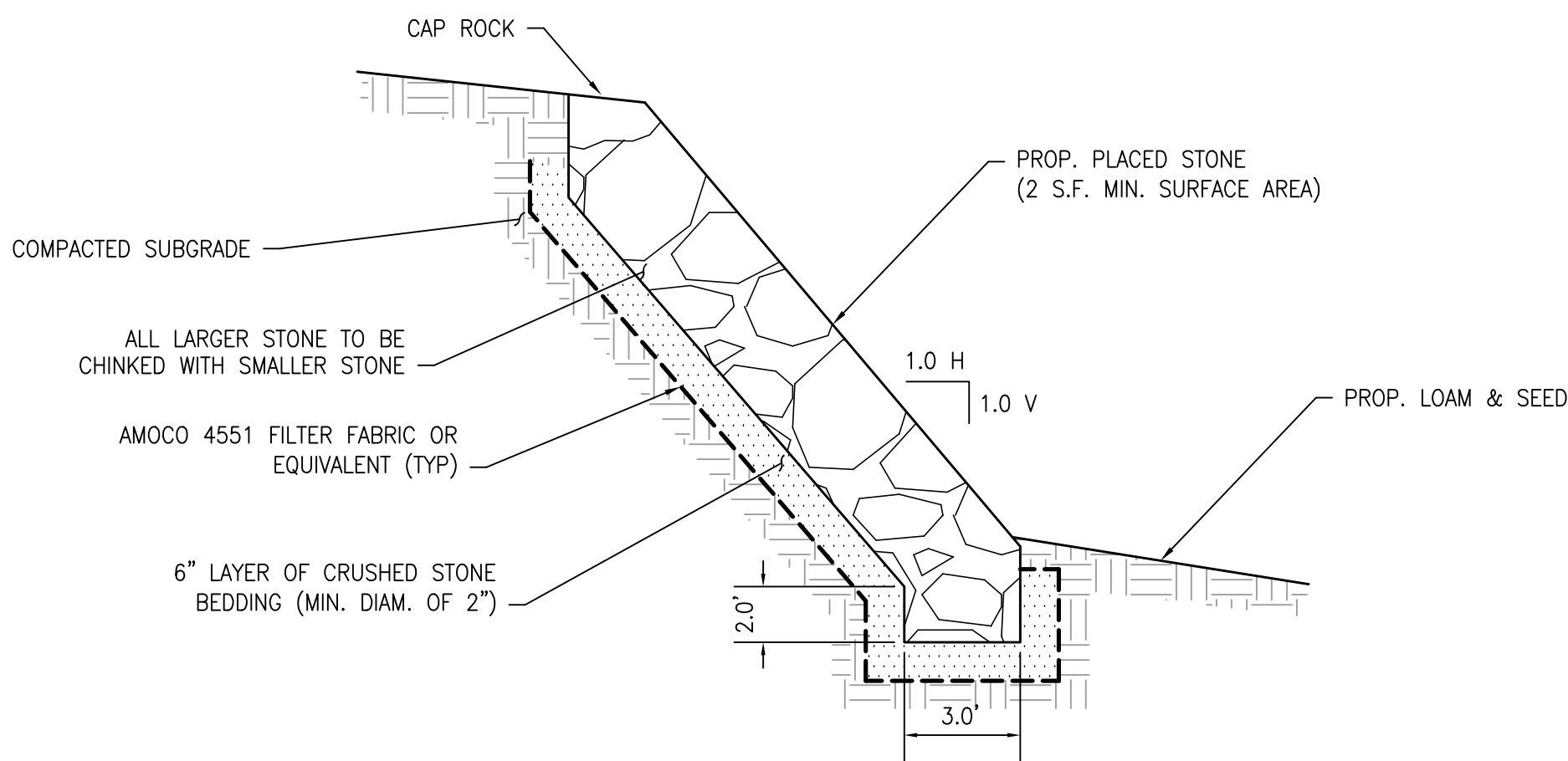
HOLDING TANK NOTES:

1. ALL LINING, LEAK DETECTION, PIPE PENETRATION BOOTS, PUMP-OUT INSERT AND ALARM FROM MILLER ENVIRONMENTAL CORP. (508-378-3800)
2. HOLDING TANK SHALL BE PUMPED BY A LICENSED SEPTAGE HAULER WHENEVER THE 75% FULL ALARM IS ACTIVATED OR AT LEAST EVERY MONTH, WHICHEVER IS SOONER. HOLDING TANK SHALL BE INSPECTED BY SEPTAGE HAULER OR OTHER QUALIFIED PERSON CONCURRENTLY WITH PUMPING.
3. CONTRACTOR TO PROVIDE TANK CUT SHEET TO MILLER ENVIRONMENTAL CORP. AND DESIGN ENGINEER PRIOR TO ORDERING TO ENSURE TANK COMPLIES WITH THE SPECIFICATIONS OF LEAK DETECTION SYSTEM AND LINER SYSTEM.
4. THE CONCRETE TANK SHALL BE FIELD TESTED FOR WATERTIGHTNESS BY MILLER ENVIRONMENTAL PRIOR TO INSTALLATION OF THE INTERIOR LINER. THE INTERIOR LINER SHALL ALSO BE FIELD TESTED FOR WATERTIGHTNESS BY MILLER ENVIRONMENTAL.
5. THE LINER SHALL BE FABRICATED TO PROVIDE AN EFFECTIVE SEAL AROUND THE INLET PIPE, VENT PIPE AND MANHOLE RISERS.
6. A PLAQUE OR SIGN SHALL BE INSTALLED, TO INSTRUCT THE SEPTAGE HAULER AS TO SPECIFIC TECHNIQUES TO AVOID DAMAGING THE LINER DURING ROUTINE PUMPING. THE PLAQUE SHALL READ: THIS TANK IS LINED WITH A PVC MEMBRANE. TO AVOID PUNCTURE, DO NOT USE SHARP OBJECTS WITHIN THE TANK. MILLER ENVIRONMENTAL PRODUCTS, INC. (508) 378-3800.

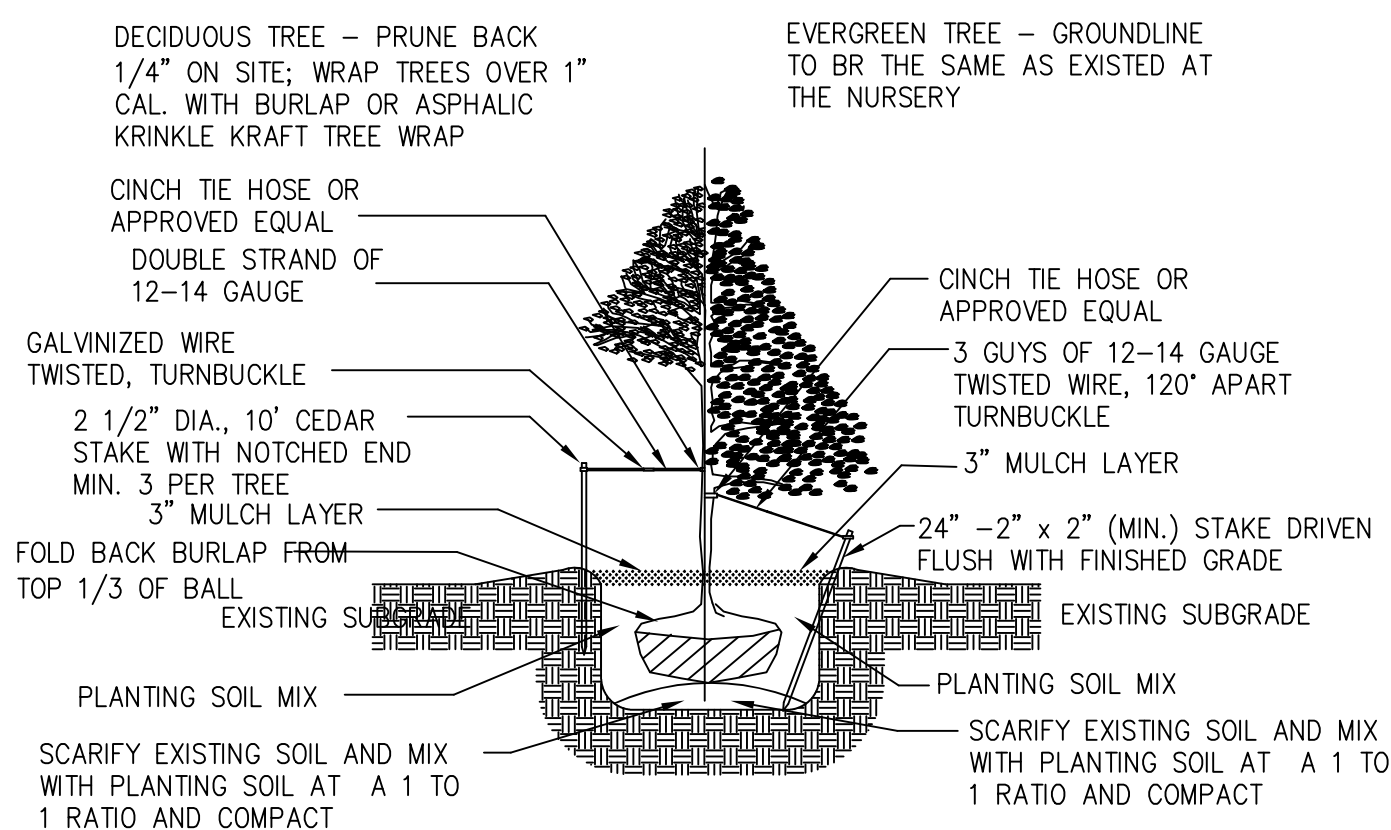
1,500 GAL. INDUSTRIAL WASTE HOLDING TANK DETAIL
NOT TO SCALE



TYPICAL TRENCH
NOT TO SCALE



1:1 PLACED STONE SLOPE DETAIL
NOT TO SCALE



DECIDUOUS AND EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE

BY:	JMH				
DESCRIPTION	PER ZONING BOARD.				
REV. DATE	5/6/2024				
PROJECT:	PROPOSED SITE PLAN 421 FOREST STREET (ASSESSOR'S PARCEL: 14-79) ROCKLAND, MASSACHUSETTS				
PREPARED BY:	DENNIS BENOIT & MELISSA MCINNIS				
JOB NO:	22-334	SCALE:	AS NOTED	DESIGN:	JMH
CHK:	JS	DATE:	7/27/2023	PLAN TITLE:	CONSTRUCTION DETAILS PLAN
SHEET:	6 OF 6				