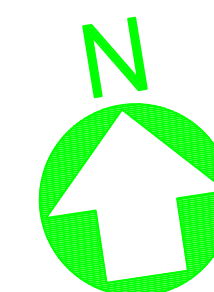
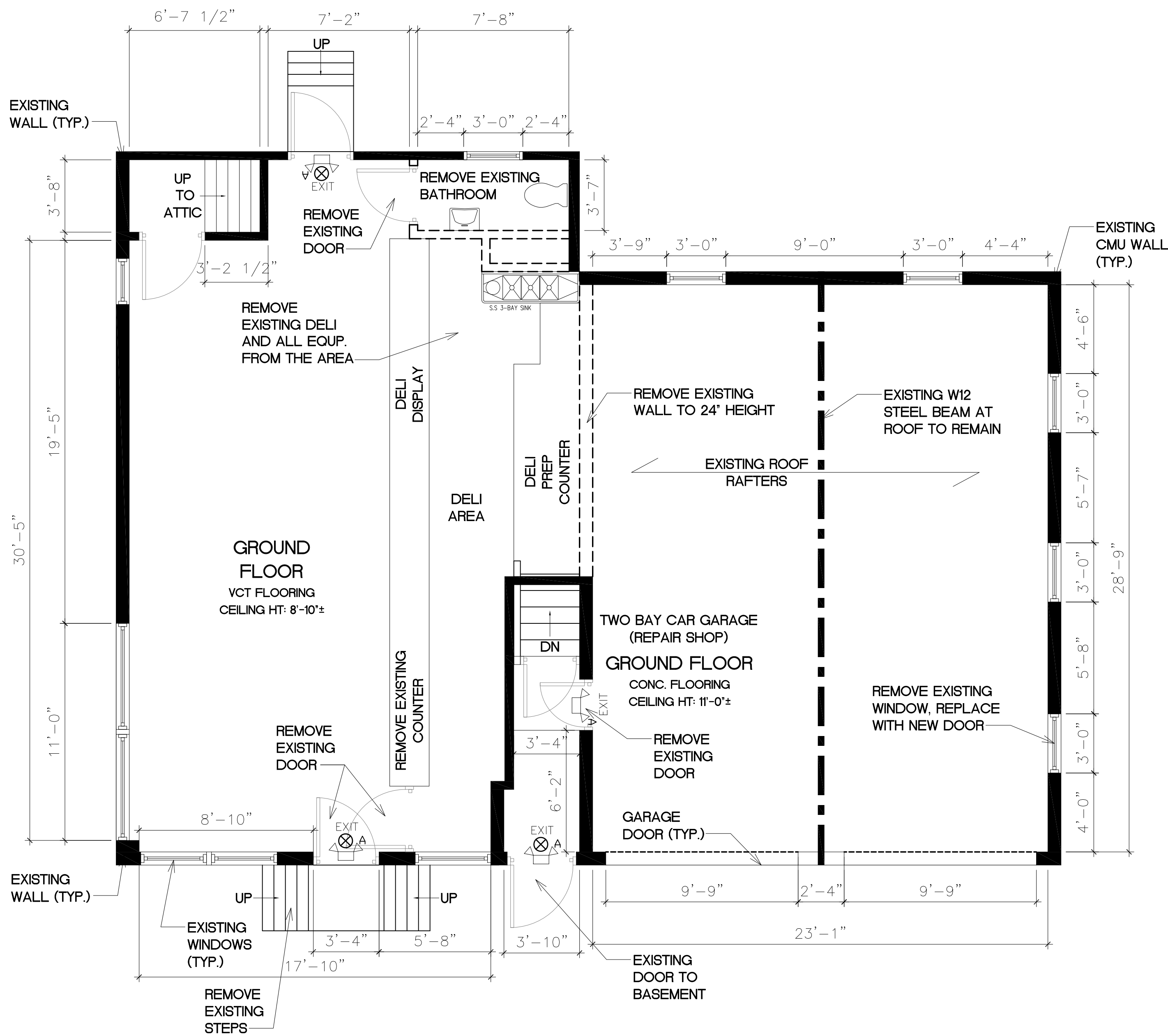




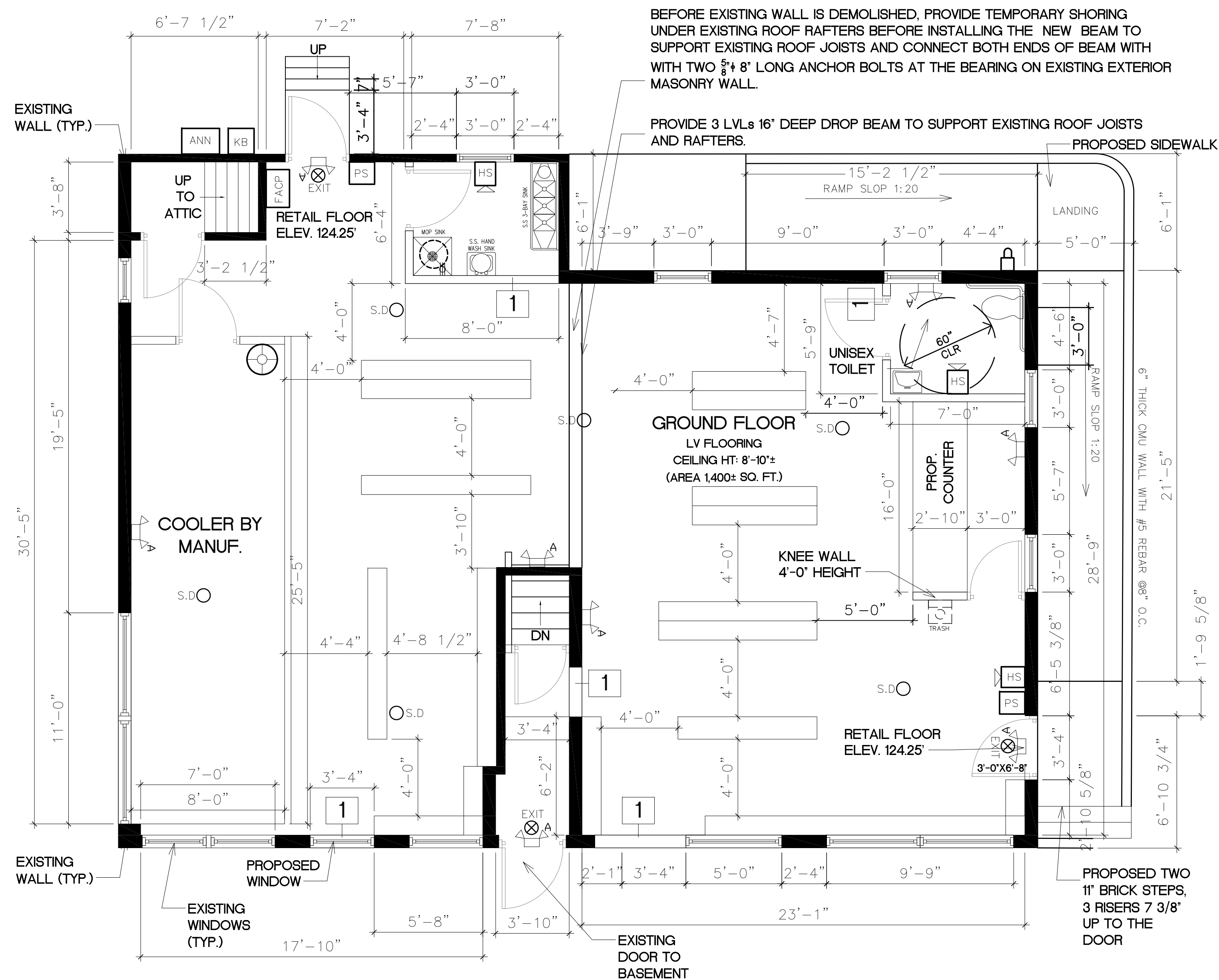
-
- 3 1/2" FIBERGLASS BATT INSULATION
- 3 5/8" METAL STUDS @ 16" O.C. WITH 3/8" GWB ON BOTH SIDES
- 5/8" GYPSUM BOARD PRIMED AND PAINTED 2 COATS
- 1



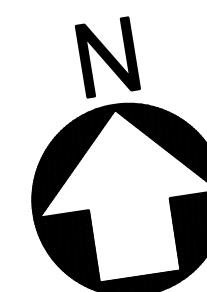
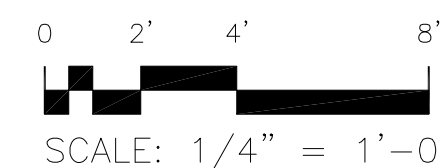
Scale	As indicated
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2 DEMOLITION PLAN
1/4" = 1'-0"



3 PROPOSED FITOUT PLAN
1/4" = 1'-0"



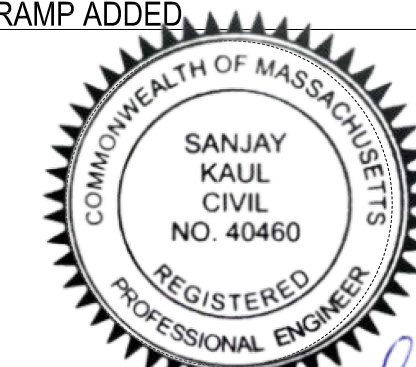
LALA ASSOCIATES ENGINEERS LLC

37 OLD VILLAGE ROAD
ACTON, MA 01720
(978)337-5252
lalaengineers@gmail.com

CIVIL, ELECTRICAL & STRUCTURAL
ENGINEERING SERVICES

LIC.#40460-C(MA-EXP 6-30-26),
13350(MD), 09227(NH), 084611(NY),
17802(ME), 23000059(WA),

No.	Description	Date
1.	RAMP ADDED	4-22-2024



246 E. WATER ST. REALTY, LLC.

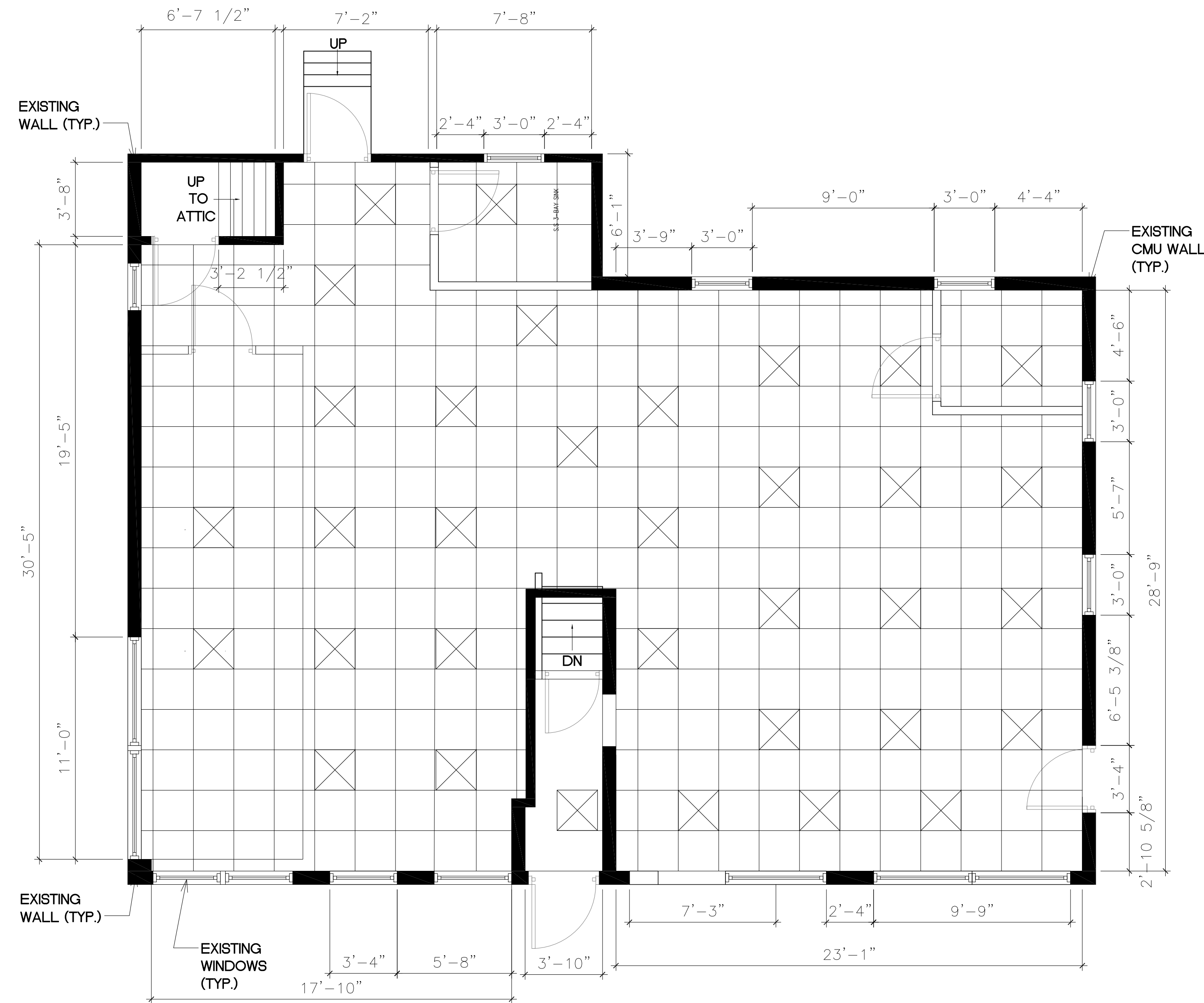
246 E. WATER ST.,
ROCKLAND, MA

FIRST FLOOR LAYOUT

Project number	23165
Date	02/04/2024
Drawn by	KL
Checked by	SK
Scale	As indicated

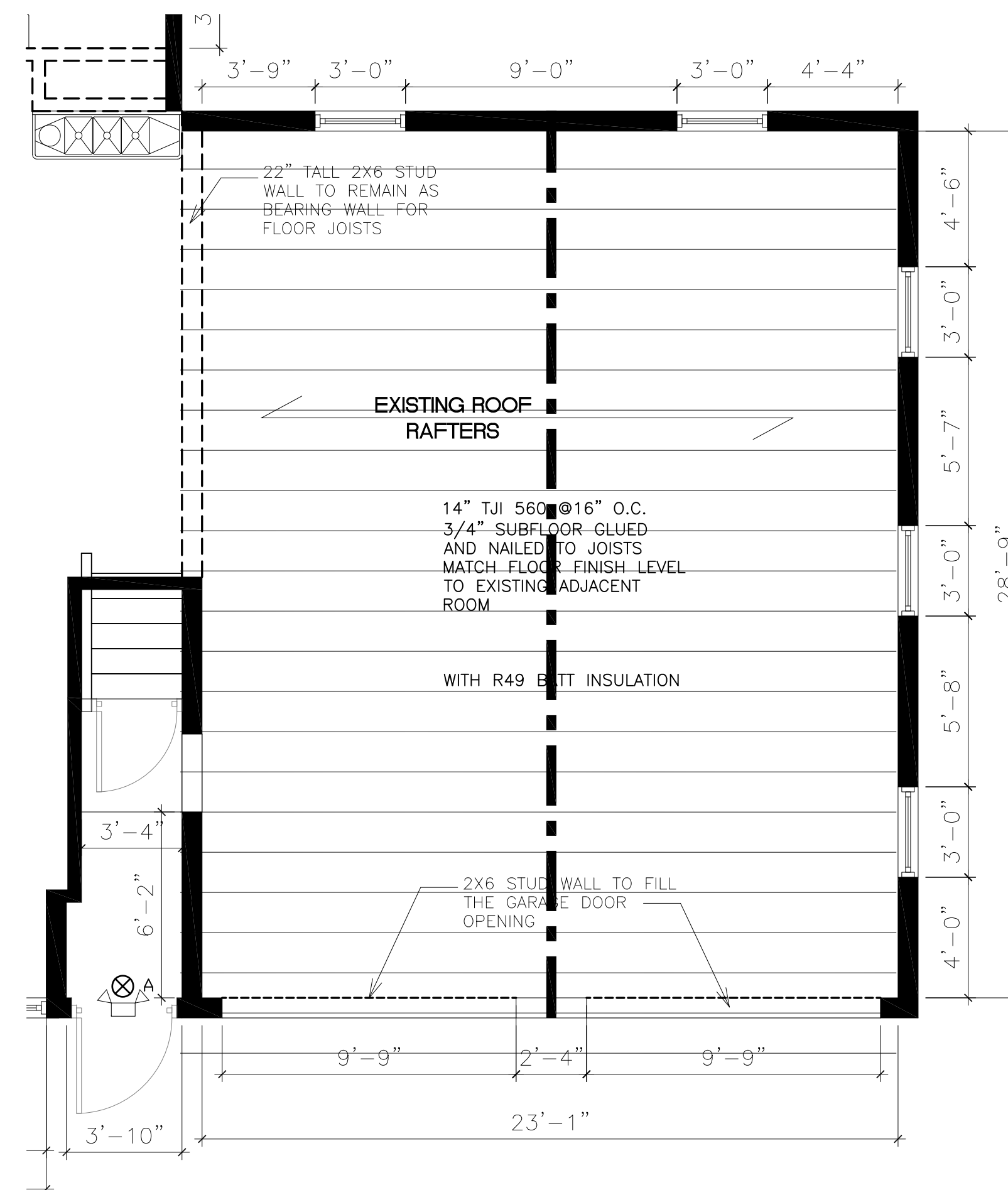
A2

01/15/2024 8:30:00 PM

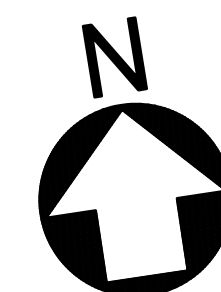
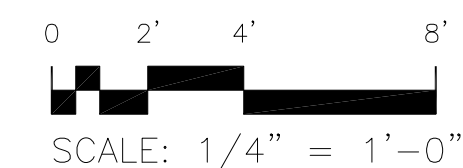


4 PROPOSED CEILING PLAN
1/4" = 1'-0"

- LEGEND
- 2' X 2' LED LIGHT FIXTURE
- GENERAL NOTES:
1. LIGHT LOCATIONS ARE APPROXIMATE AND MAY BE ADJUSTED.



5 PARTIAL PROPOSED FITOUT PLAN
1/4" = 1'-0"



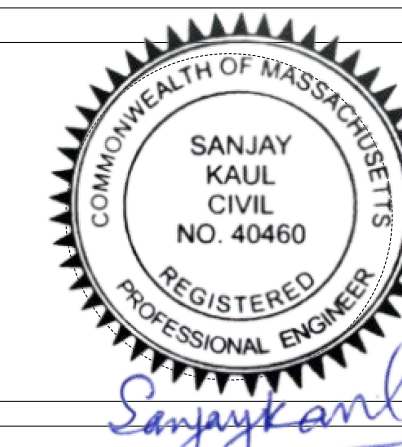
LALA ASSOCIATES ENGINEERS LLC

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CIVIL, ELECTRICAL & STRUCTURAL
ENGINEERING SERVICES

LIC.#40460-C(MA-EXP 6-30-26),
13350(MD), 09227(NH), 084611(NY),
17802(ME), 23000059(WA),

No.	Description	Date



246 E. WATER ST. REALTY, LLC.

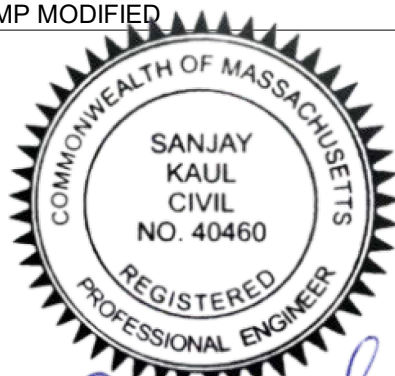
246 E. WATER ST.
ROCKLAND, MA

FIRST FLOOR LAYOUT	
Project number	23165
Date	02/04/2024
Drawn by	KL
Checked by	SK
Scale	As indicated

A3



No.	Description	Date
1	RAMP MODIFIED	4-22-2024



Sanjay Kaul

246 E. WATER ST., REALTY

246 E. WATER ST.,
ROCKLAND, MA

ELEVATION - NORTH,
SOUTH AND EAST

Project number	23166
Date	4/29/2024
Drawn by	KL
Checked by	SK

A4

Scale	As indicated
-------	--------------

SIGNAGE HERE

NEW SIGNAGE SIZE PER ORDINANCE OF
TOWN OF ROCKLAND, MA OR OTHER
APPLICABLE DESIGN STANDARD

STOREFRONT SYSTEM
PROVIDE SUBMITTAL FOR
REVIEW BY ARCHITECT
(TYP.)

Roof 2
14' - 10"

Roof 1
11' - 0"

Retail Level
2' - 10 3/32"

Garage Level
0' - 0"

1 FRONT SOUTH ELEVATION
3/8" = 1'-0"

Roof 2
14' - 10"

Roof 1
11' - 0"

NOTES FOR RAMP CONSTRUCTION:

THE RAMP TO BE CONCRETE 4" THICK SLAB ON FILL SURROUNDED BY CMU
WALL 6" THICK OVER 1'X6" CONCRETE FOOTING AT 1' DEEP BELOW GRADE.
PROVIDE 2 NUMBERS #5 REBAR AT THE BOTTOM OF THE FOOTING.
PROVIDE #4 VERTICAL BARS WITH 18" BOTTOM HOOK AND VARIABLE HEIGHT
TO MAXIMUM 3'-4" TALL IN THE
CMU HOLLOW CELLS AT 8" O.C. I. E. IN EACH HOLLOW CELL OF THE BLOCK.

PROVIDE 3" BRICK VANNER FROM THE FOOTING TO TOP EDGE OF
THE RAMP FLOOR SLAB.

Retail Level
2' - 10 3/32"

Garage Level
0' - 0"

NEW DOOR SUBMITTAL FOR
REVIEW BY ARCHITECT

EXISTING STEPS, LANDING
AND RAILS TO REMAIN

2 NORTH ELEVATION
3/8" = 1'-0"

Roof 2
14' - 10"

Roof 1
11' - 0"

Roof 2
14' - 10"

Roof 1
11' - 0"

Retail Level
2' - 10 3/32"

Garage Level
0' - 0"

Retail Level
2' - 10 3/32"

Garage Level
0' - 0"

NEW DOOR SUBMITTAL FOR
REVIEW BY ARCHITECT

NEW SIGNAGE SIZE PER ORDINANCE OF
TOWN OF ROCKLAND, MA OR OTHER
APPLICABLE DESIGN STANDARD

SIGNAGE HERE

3 EAST
3/8" = 1'-0"

4 WEST
1/4" = 1'-0"

2' - 10 3/32"
2' - 10 3/32"
11" BRICK STEPS



LEGEND

- IRON PIPE
- EOP EDGE OF PAVEMENT
- VGC VERTICAL GRANITE CURB
- VCC VERTICAL CONCRETE CURB
- CCB CAPE COD BERM
- 123.8x SPOT ELEVATION
- UP UTILITY POLE
- OHW OVERHEAD WIRES
- EH ELECTRIC METER
- MH MANHOLE
- SMH SEWER MANHOLE
- S-S SEWER LINE
- WG WATER GATE
- WM WATER METER
- GAS FILL
- MONITOR WELL
- DMH DRAIN MANHOLE
- CB CATCH BASIN
- SIGN
- TWS TACTILE WARNING STRIP
- TREE (SIZE AND TYPE SHOWN)
- FFE FIRST FLOOR ELEVATION

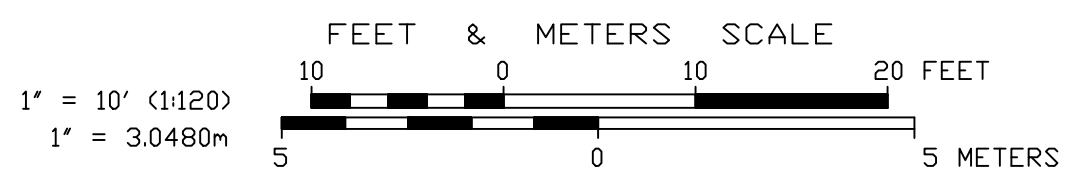
REFERENCE

DEED REFERENCE: PLYMOUTH COUNTY REGISTRY OF DEEDS
BOOK 19268, PAGE 41

PLAN REFERENCE: MORTGAGE INSPECTION PLAN PREPARED
BY FLEMING & MCCARTHY LAND
SURVEYORS, DATED MARCH 13, 1989

NOTES

- SUBJECT TO ANY STATEMENT OF FACT AN UP-TO-DATE
ABSTRACT OF TITLE WOULD DISCLOSE.
- SUBJECT TO ALL RIGHTS, EASEMENTS, COVENANTS OR
RESTRICTIONS OF RECORD.
- UNDERGROUND UTILITIES, STRUCTURES AND FACILITIES,
IF ANY, HAVE BEEN SHOWN FROM SURFACE LOCATIONS
AND MEASUREMENTS OBTAINED FROM A FIELD SURVEY
AND RECORD LOCATIONS, THEREFORE THEIR LOCATIONS
MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY
BE OTHER UTILITIES WHICH THE EXISTENCE OF ARE NOT
KNOWN. SIZE, TYPE AND LOCATION OF ALL UTILITIES
AND STRUCTURES MUST BE VERIFIED BY PROPER
AUTHORITIES PRIOR TO ANY AND ALL CONSTRUCTION.
CALL, TOLL FREE, DIG SAFE CALL CENTER AT
1-888-344-7233 SEVENTY-TWO HOURS PRIOR TO ANY
EXCAVATION.
- HORIZONTAL LOCATIONS ON THIS PLAN REFERENCE THE
NORTH AMERICAN DATUM OF 1983 (NAD 83).
ELEVATIONS REFERENCE THE NORTH AMERICAN VERTICAL
DATUM OF 1988 (NAVD 88).
- THE PARCEL SHOWN HEREON IS SUBJECT TO A TEN
FOOT RIGHT OF WAY ALONG A PORTION OF THE
EASTERLY PROPERTY LINE FROM EAST WATER STREET
PREPARED FOR SUN OIL COMPANY (SEE DEED
REFERENCE).



ZONING DESIGNATION:

TOWN OF ROCKLAND ZONING DISTRICT
RESIDENTIAL - 3 (R-3)

ASSESSORS REFERENCE:

MAP 40, PARCEL 87

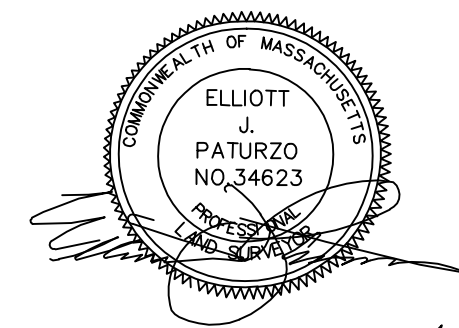
I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY
PERFORMED ON THE GROUND ON DECEMBER 19, 2023, APRIL 26,
2024, AND THE LATEST PLANS AND DEEDS OF RECORD.

I CERTIFY THAT THE SUBJECT DWELLING SHOWN LIES IN A ZONE "X",
SHOWN ON MAP NUMBER 25023C0093K, HAVING AN EFFECTIVE
DATE OF JULY 6, 2021.

REVISIONS

DATE	DESCRIPTION
04/26/24	UPDATE DETAILS

FIELD: DMD
CALCS: EJP/SMI
DRAWN BY: SMI
FIELD EDIT: N/A
CHECKED: EJP
APPROVED:
JOB #: 2311027



4/26/24
PROFESSIONAL LAND SURVEYOR DATE

A.S. Elliott & Associates

Professional Land Surveyors

P.O. BOX 85 ~ HOPEDALE, MA 01747

(508) 634-0256

www.aselliott.com

**Existing Conditions
Plan of Land**

246 EAST WATER STREET

ROCKLAND, MASSACHUSETTS

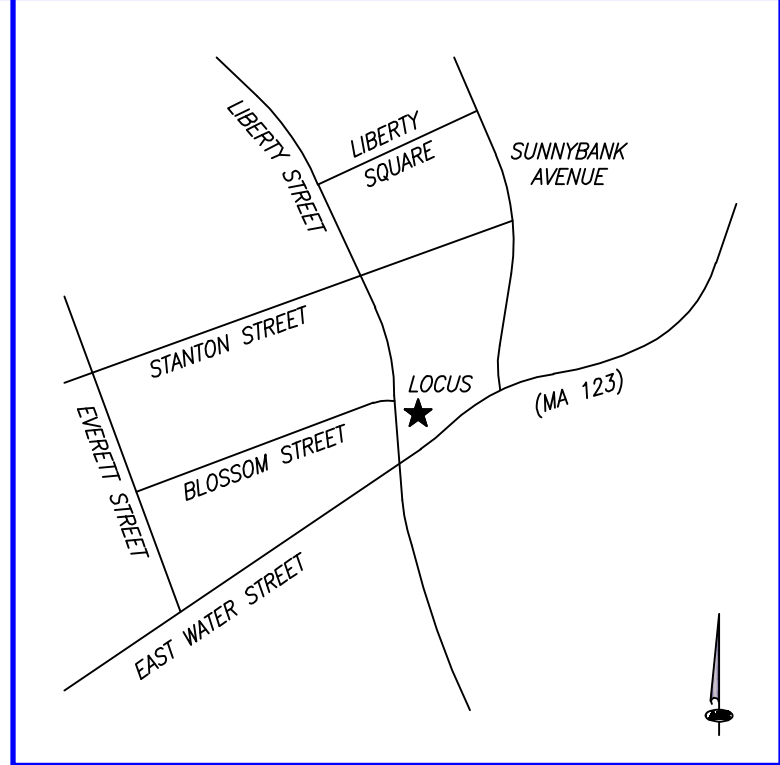
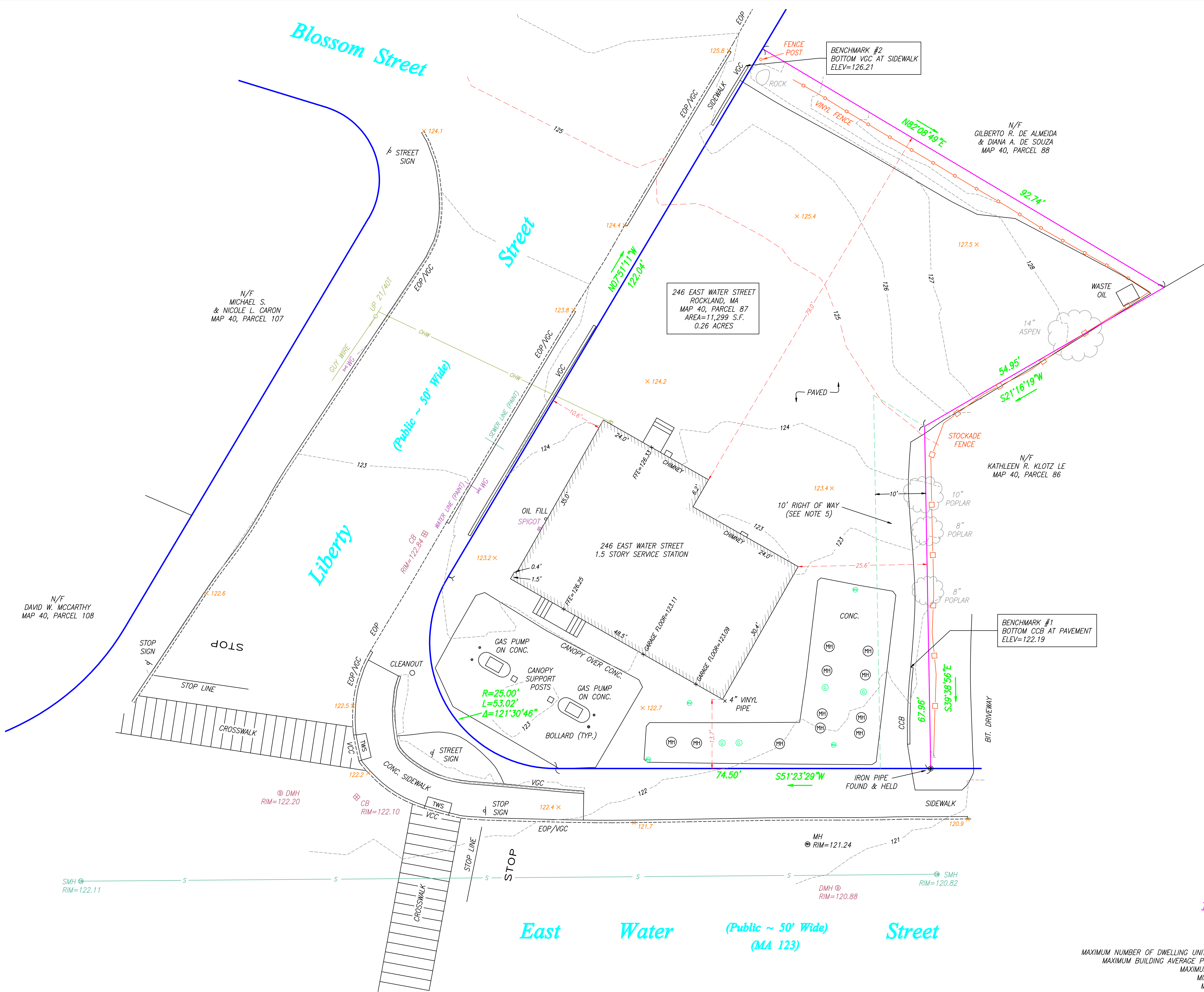
PREPARED FOR: PATEL RAVI

SCALE: 1" = 10'

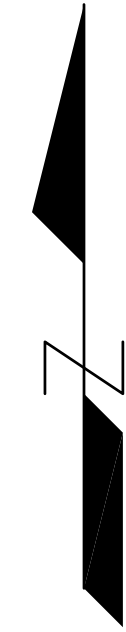
DATE: DECEMBER 19, 2023

TOWN OF ROCKLAND, MA DIMENSIONAL REGULATIONS: RESIDENTIAL - 3 (R-3)

	REQUIRED	EXISTING
MINIMUM LOT AREA	32,670 S.F.	11,299 S.F.
MAXIMUM NUMBER OF DWELLING UNITS PER LOT	2	2
MAXIMUM BUILDING AVERAGE PERCENTAGE OF LOT	35%	14%
MAXIMUM BUILDING HEIGHT	3 STORIES/36'	1.5 STORIES
MINIMUM FRONT YARD	25'	10.6'
MINIMUM REAR YARD	50'	79.0'
MINIMUM SIDE YARD	15'	25.6'



LOCUS MAP
SCALE: 1" = 500'



Blossom Street

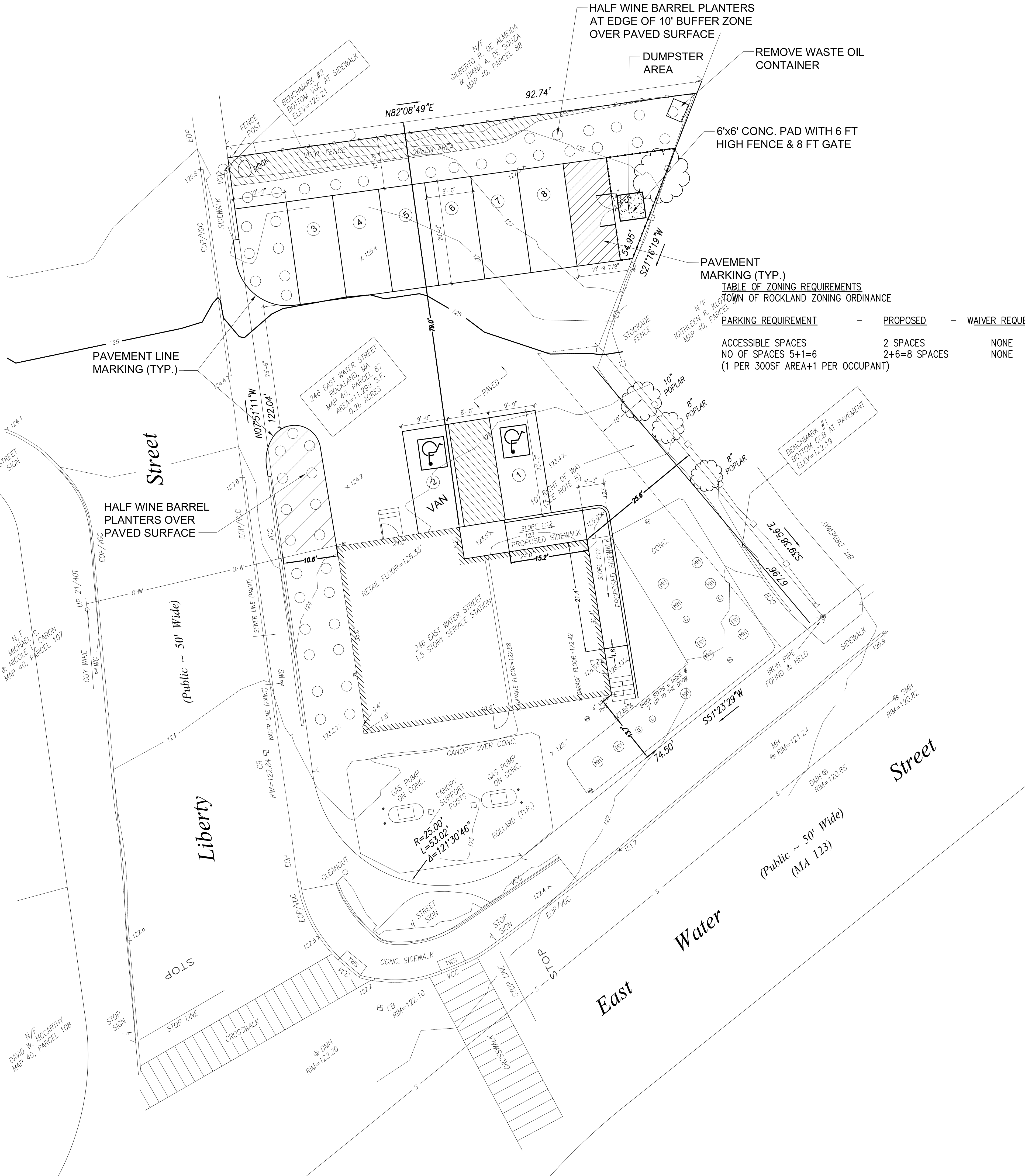
Street

Liberty

Water

Street

East



HALF WINE BARREL PLANTERS
AT EDGE OF 10' BUFFER ZONE
OVER PAVED SURFACE

DUMPSTER
AREA

REMOVE WASTE OIL
CONTAINER

6'x6' CONC. PAD WITH 6 FT
HIGH FENCE & 8 FT GATE

PAVEMENT
MARKING (TYP.)
TABLE OF ZONING REQUIREMENTS
TOWN OF ROCKLAND ZONING ORDINANCE

PARKING REQUIREMENT	PROPOSED	WAIVER REQUESTED
ACCESSIBLE SPACES	2 SPACES	NONE
NO OF SPACES 5+1=6 (1 PER 300SF AREA+1 PER OCCUPANT)	2+6=8 SPACES	NONE

LALA ASSOCIATES ENGINEERS LLC

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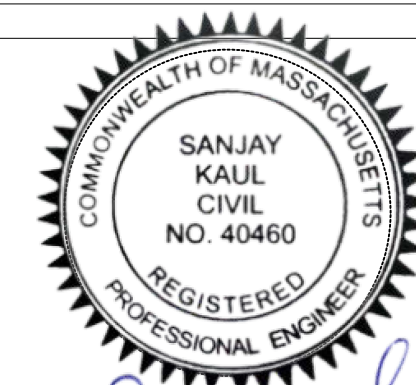
CIVIL, ELECTRICAL & STRUCTURAL
ENGINEERING SERVICES

LIC.#40460-C(MA-EXP 6-30-24),
13350(MD), 09227(NH), 084611(NY),
17802(ME), 23000059(WA),

REGISTERED LAND SURVEYOR:

A S ELLIOTT ASSOCIATES
P.O.BOX 85
HOPEDALE, MA
508 634 0256
PROJECT # 2311027
PLAN PREPARED ON 4-26-2024

No.	Description	Date



246 E. WATER ST. REALTY, LLC.

246 E. WATER ST.,
ROCKLAND, MA

PARKING PLAN

Project number	23165
Date	02/04/2024
Drawn by	KL
Checked by	SK

C1

Scale As indicated

