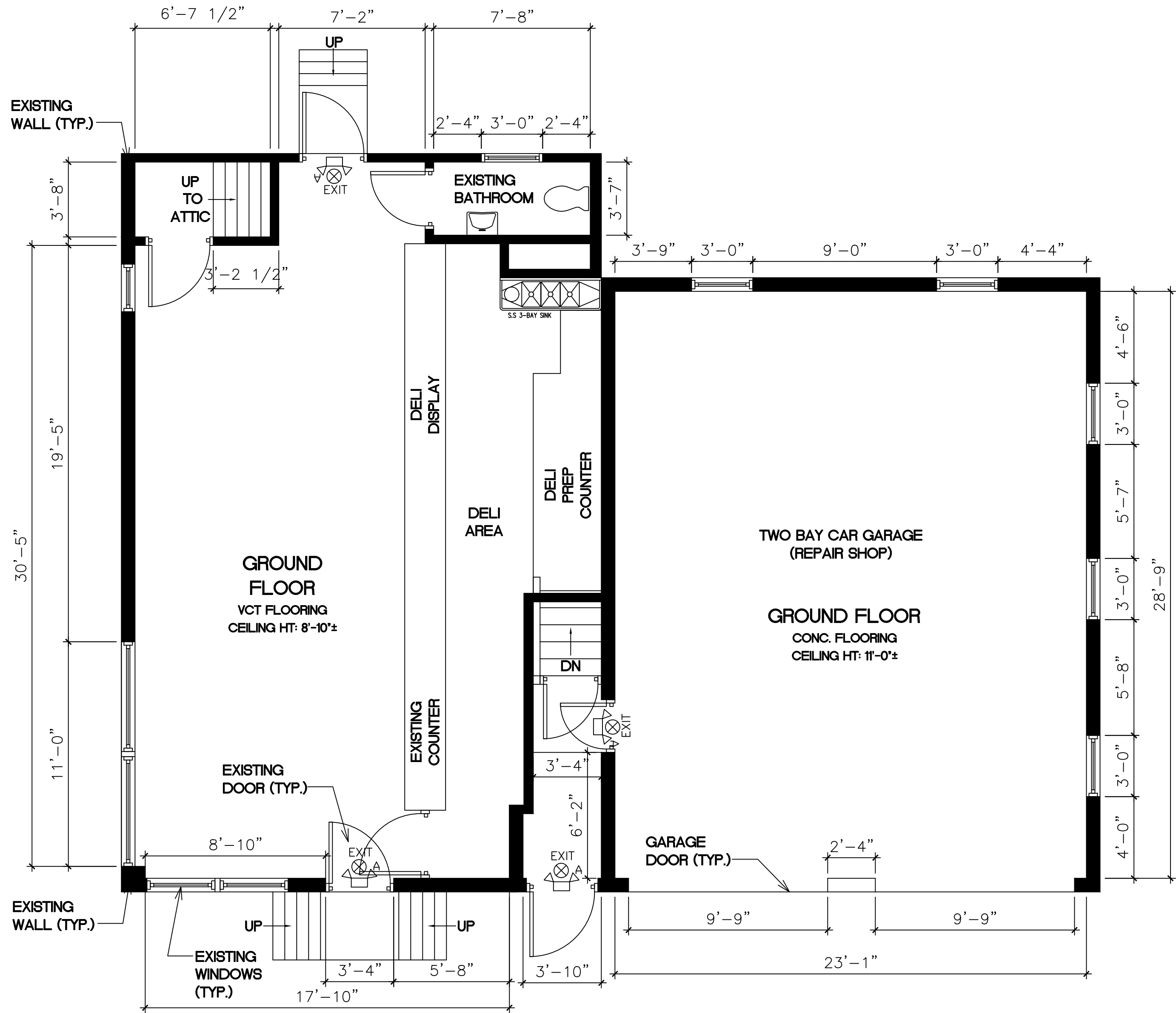
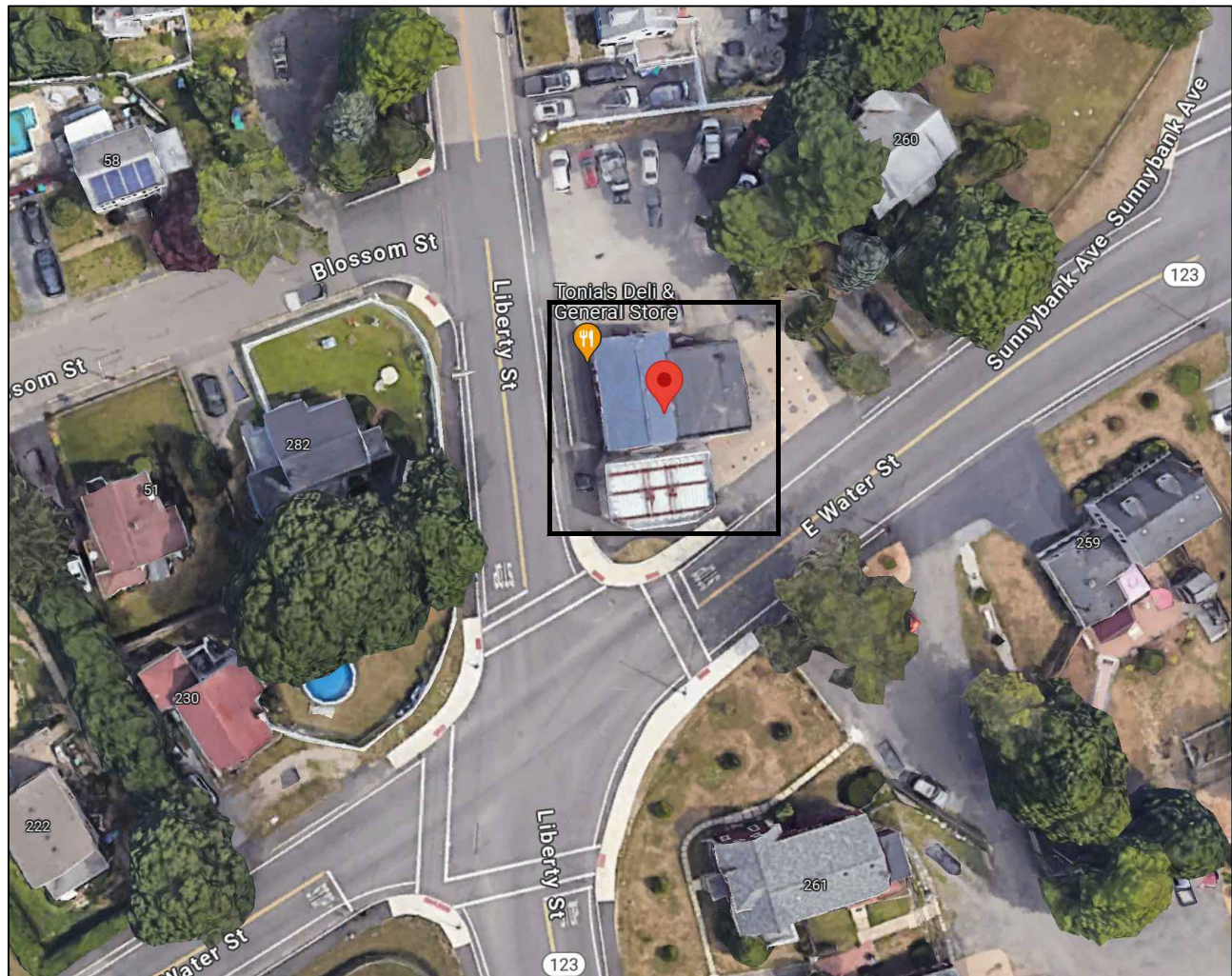




1 EXISTING CONDITION PLAN
1/4" = 1'-0"



VIEW OF EXISTING CONDITION
(NOT TO SCALE)



LOCUS PLAN
(NOT TO SCALE)

GENERAL NOTES:

- ALL WORK TO BE DONE IN ACCORDANCE WITH THE MASSACHUSETTS STATE BUILDING CODE IBC2021 AS AMENDED BY CMR 10TH EDITION AND ALL OTHER APPLICABLE CODES.
- CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF DISCREPANCIES FOUND ON THE DRAWINGS OR IN THE SPECIFICATIONS.
- ALL WORK PERFORMED UNDER AND IN CONNECTION WITH THESE CONTRACT DOCUMENTS SHALL BE IN STRICT COMPLIANCE WITH THE LATEST O.S.H.A. SAFETY AND HEALTH STANDARDS.
- MANUFACTURERS INSTRUCTION: COMPLY WITH THE MANUFACTURERS INSTRUCTIONS AND RECOMMENDATIONS; TO THE EXTENT THAT THEY ARE MORE STRINGENT THAN THE REQUIREMENTS IN THE CONTRACT DOCUMENTS.
- INSPECT MATERIAL IMMEDIATELY UPON DELIVERY AND AGAIN PRIOR TO INSTALLATION. REJECT DAMAGED AND DEFECTIVE ITEMS.
- VERIFY ALL MEASUREMENTS AND DIMENSIONS BEFORE STARTING INSTALLATION.
- MOUNTING HEIGHTS: WHERE MOUNTING HEIGHTS ARE NOT INDICATED, INSTALL COMPONENTS AT STANDARD HEIGHTS FOR THE APPLICATION INDICATED.
- CLEANING AND PROTECTION: DURING HANDLING AND INSTALLATION, CLEAN AND PROTECT CONSTRUCTION IN PROGRESS AND ADJOINING MATERIALS IN PLACE. PLACE. APPLY PROTECTIVE COATINGS WHERE REQUIRED TO ENSURE PROTECTION FROM DAMAGE OR DETERIORATION AT SUBSTANTIAL COMPLETION. CLEAN AND MAINTAIN COMPLETED CONSTRUCTION AS OFTEN AS NECESSARY THROUGH THE CONSTRUCTION PERIOD. ADJUST AND LUBRICATE OPERABLE COMPONENTS TO ENSURE OPERABILITY WITHOUT DAMAGING EFFECTS.
- DO NOT SCALE DRAWINGS.
- ALL DEMOLISHED MATERIALS, EXCEPT AS OTHERWISE NOTED, SHALL BE REMOVED FROM THE SITE IN ACCORDANCE WITH ALL APPLICABLE LAWS.
- THERE IS NO EXISTING FIRE ALARM SYSTEM IN THIS PREMISES.
- ALL THE ELECTRICAL, PLUMBING, HVAC INCLUDING VENTILATION SYSTEM AND FIRE PROTECTION WORK SHALL BE DESIGN BUILD.

LEGEND

EXIT	EXIT	EXTINGUISHER	PS	PULL STATION
S.D.	SMOKE DETECTOR	BELL	H	HEAT DETECTOR
EMERGENCY LIGHT	ANN	ANNUNCIATOR	HS	15/75 CD HORN/STROBE
EXISTING WALL TO REMOVE	KB	KNOX BOX	FACP	FIRE ALARM PANEL
EXISTING WALL TO REMAIN	RED BEACON LIGHT	AT ROOF SOFFIT LEVEL		
NEW CONSTRUCTION				

WALL CONSTRUCTION

ALL GENERAL WALLS :
3-5/8" METAL STUD 16" O/C WITH 5/8" GWB. ON BOTH SIDES TYP.
3 5/8" METAL STUDS AT 16" O.C.
3 1/2" FIBERGLASS BATT INSULATION
5/8" GYPSUM BOARD PRIME AND PAINTED 2 COATS

1

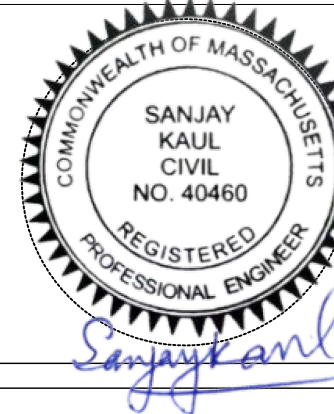
LALA ASSOCIATES ENGINEERS LLC

37 OLD VILLAGE ROAD
ACTON, MA 01720
(978)337-5252
lalaengineers@gmail.com

CIVIL, ELECTRICAL & STRUCTURAL
ENGINEERING SERVICES

LIC.#40460-C(MA-EXP 6-30-24),
13350(MD), 09227(NH), 084611(NY),
17802(ME), 23000059(WA),

No.	Description	Date



246 E. WATER ST. REALTY, LLC.

246 E. WATER ST.,
ROCKLAND, MA

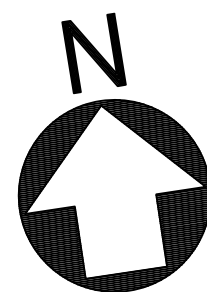
FIRST FLOOR LAYOUT

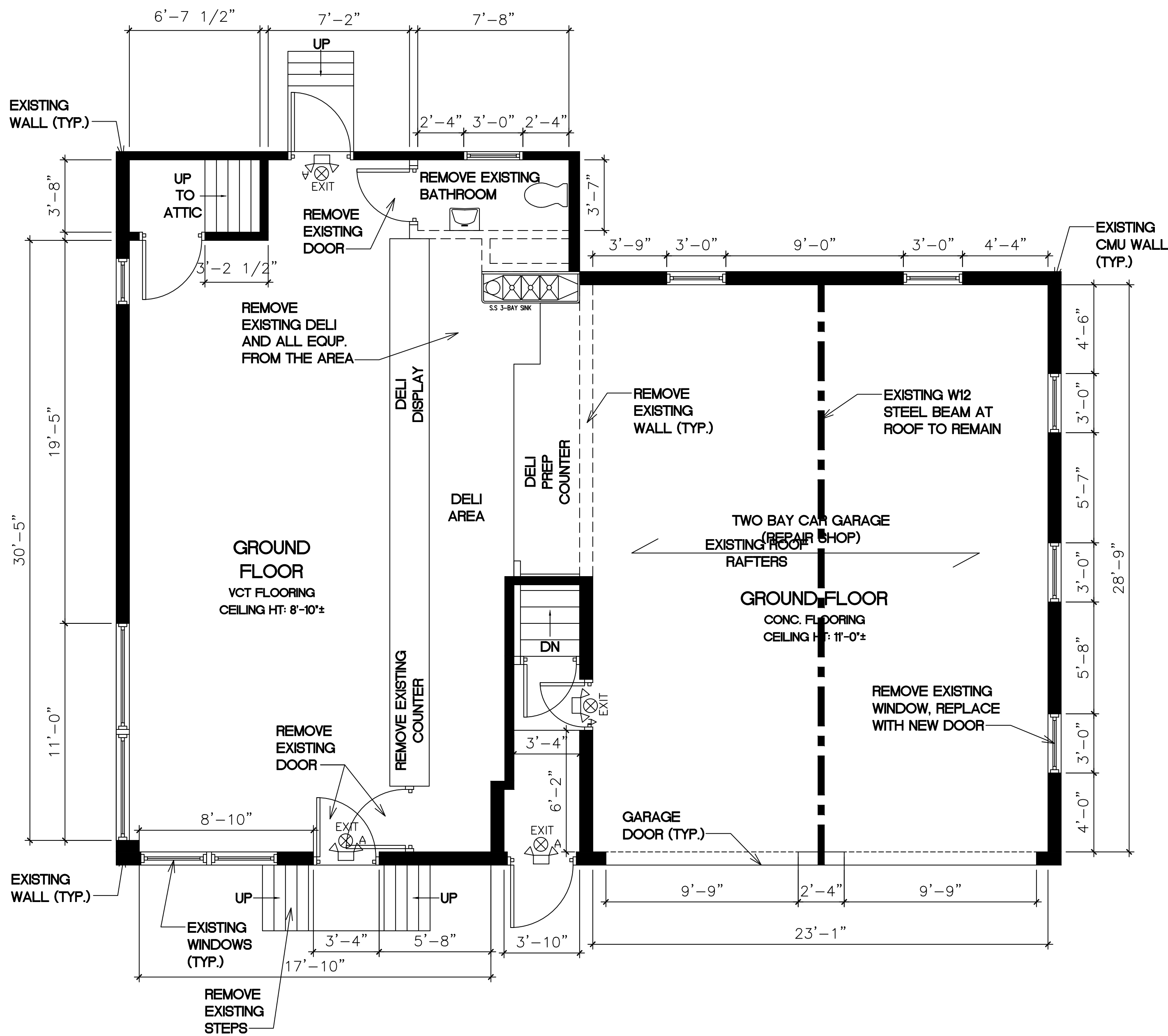
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Date	02/04/2024
Drawn by	KL
Checked by	SK

A1

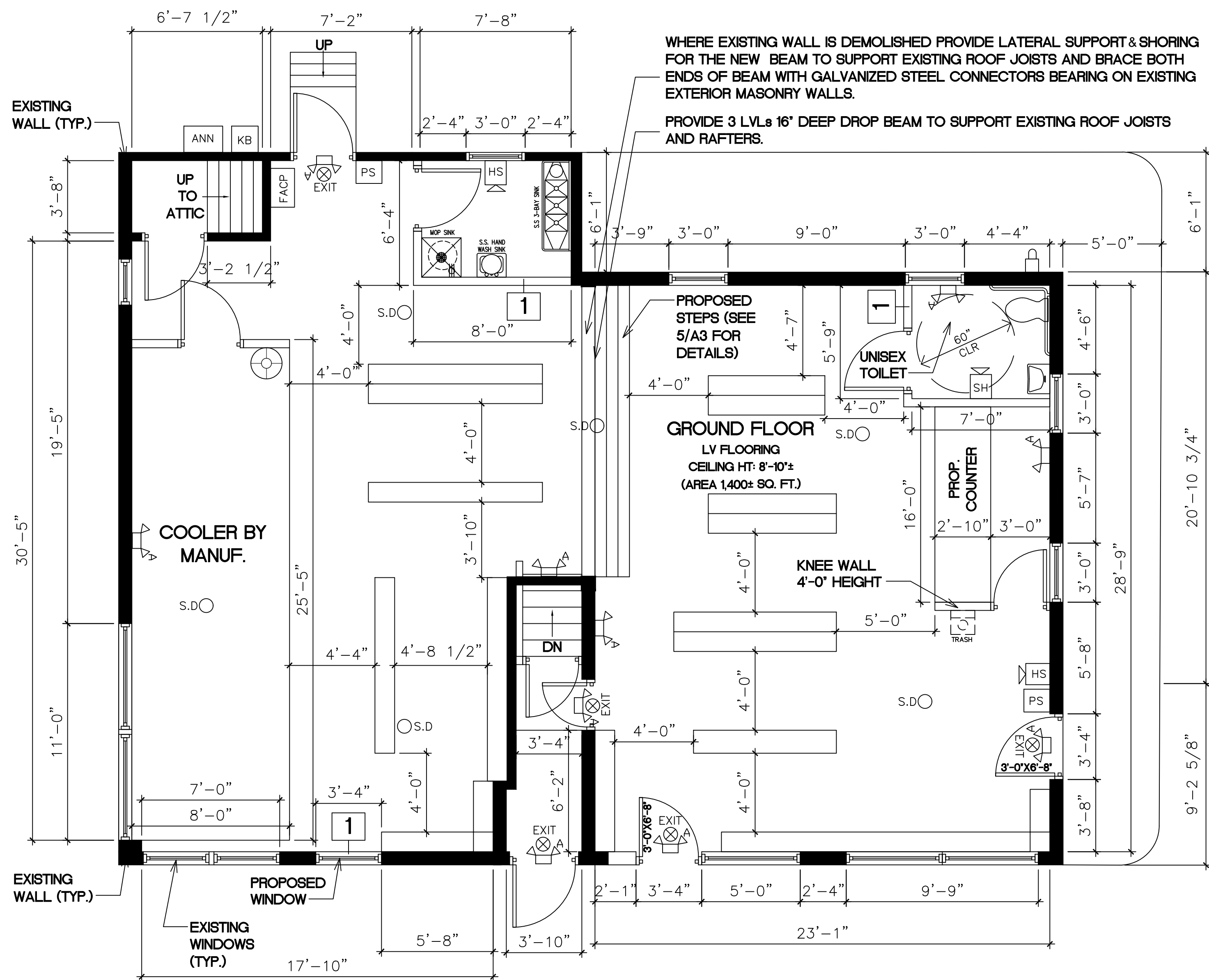
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0 2' 4' 8'
SCALE: 1/4" = 1'-0"

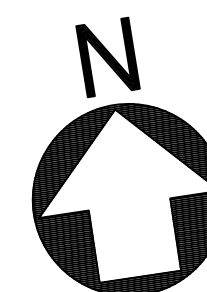
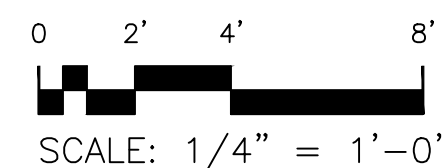




2 DEMOLITION PLAN
1/4" = 1'-0"



3 PROPOSED FITOUT PLAN
1/4" = 1'-0"



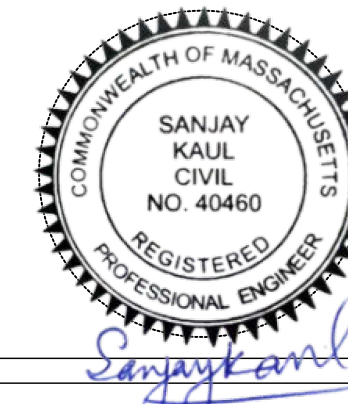
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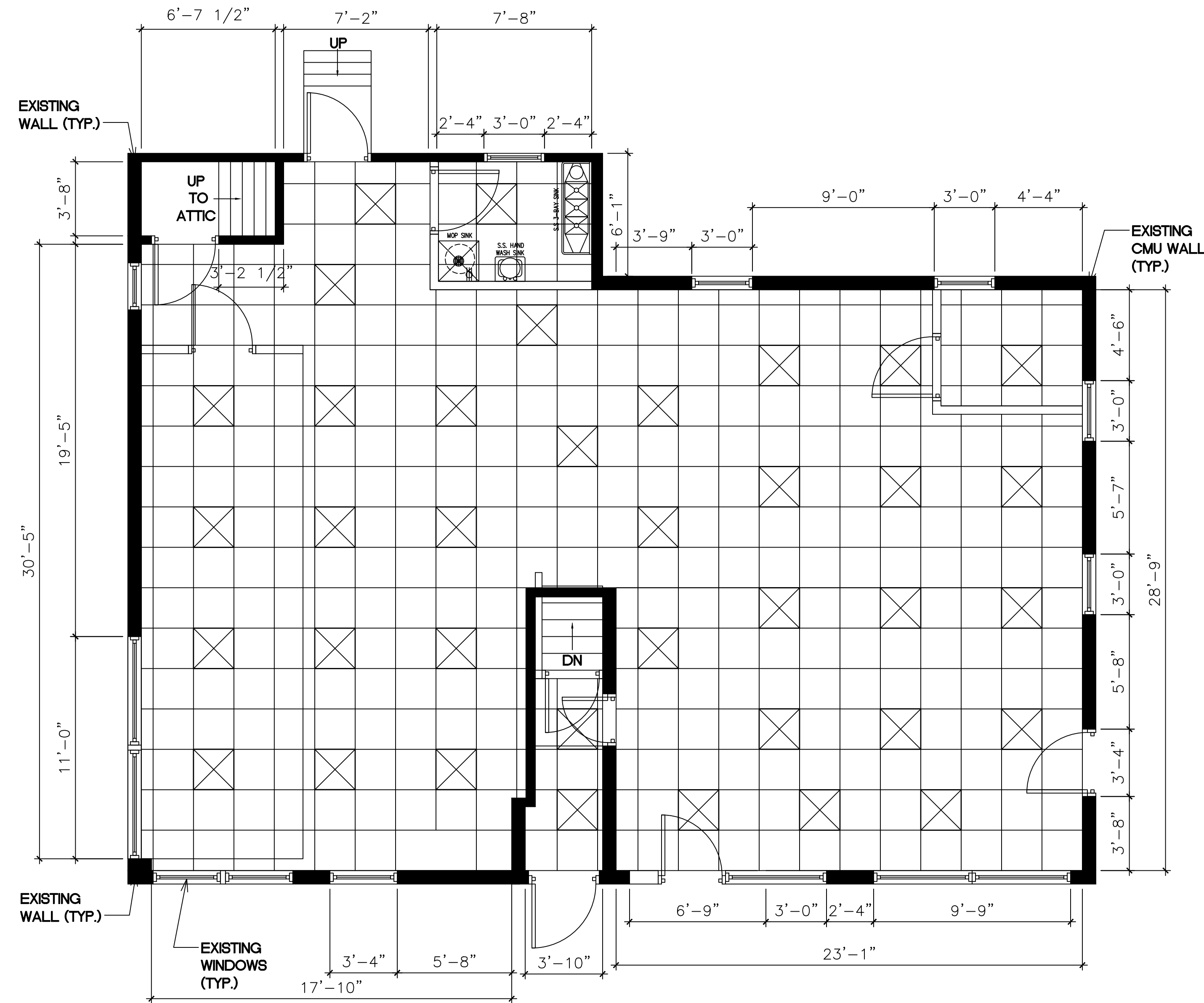
FIRST FLOOR LAYOUT

Project number	23165
Date	02/04/2024
Drawn by	KL
Checked by	SK

A2

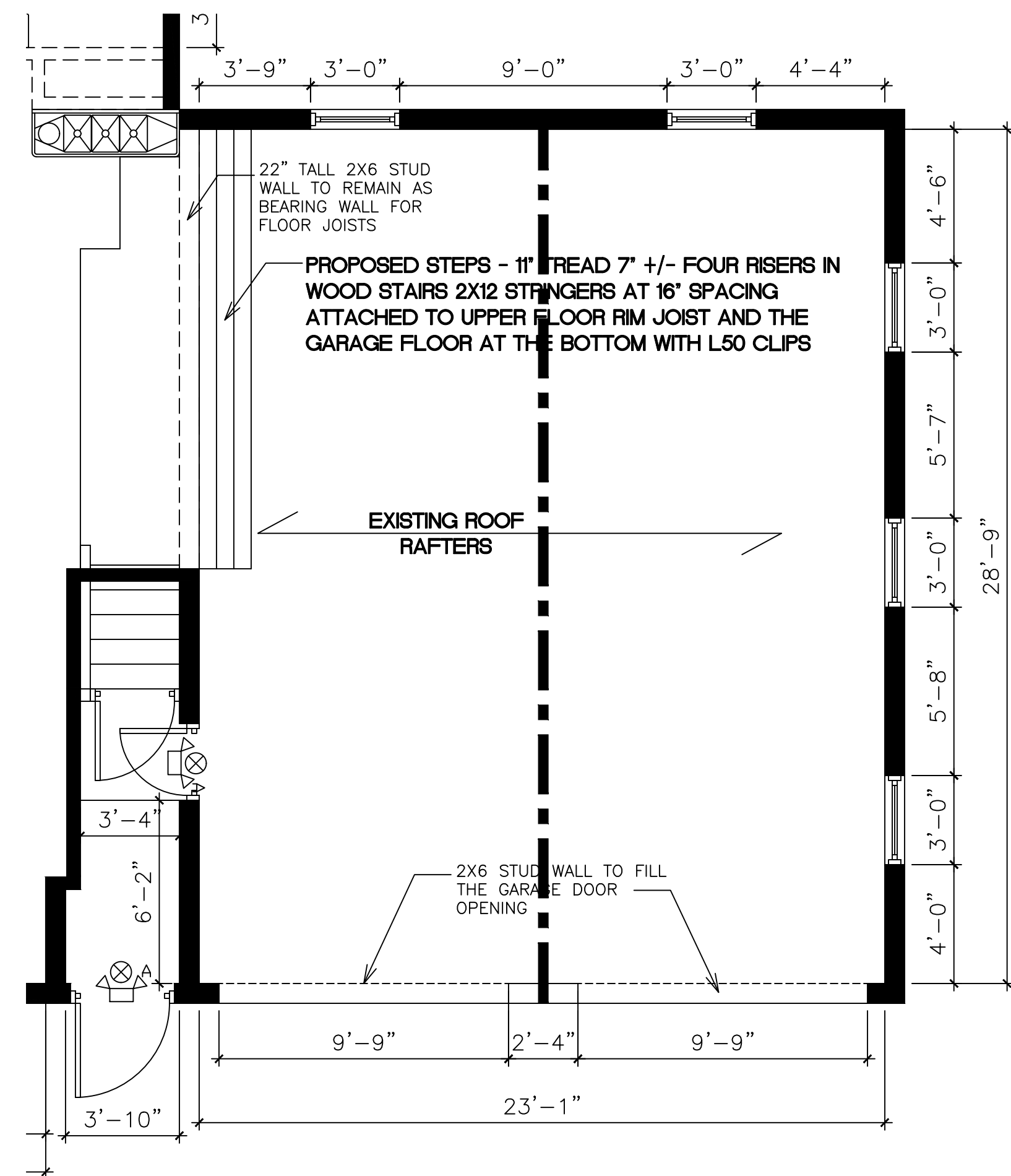
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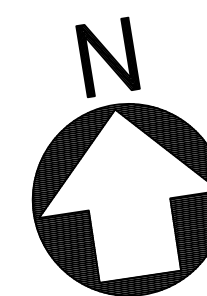
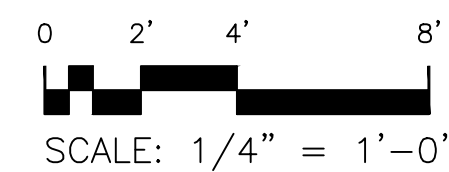


4 PROPOSED CEILING PLAN
1/4" = 1'-0"

- LEGEND
- 2' X 2' LED LIGHT FIXTURE
- GENERAL NOTES:
1. LIGHT LOCATIONS ARE APPROXIMATE AND MAY BE ADJUSTED.



5 PARTIAL PROPOSED FITOUT PLAN
1/4" = 1'-0"



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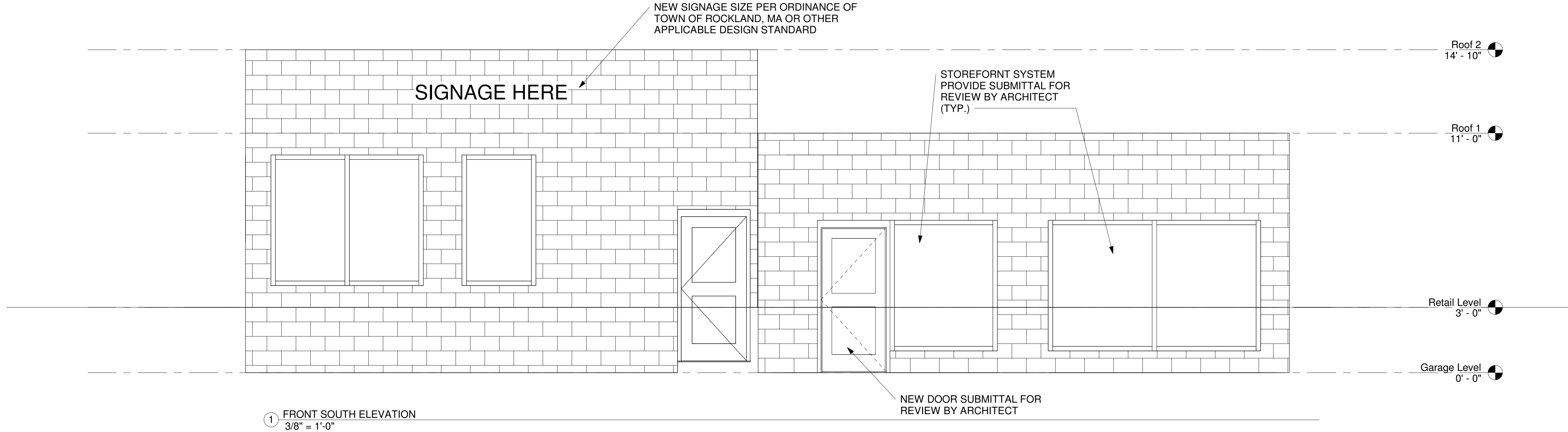


246 E. WATER ST. REALTY, LLC.

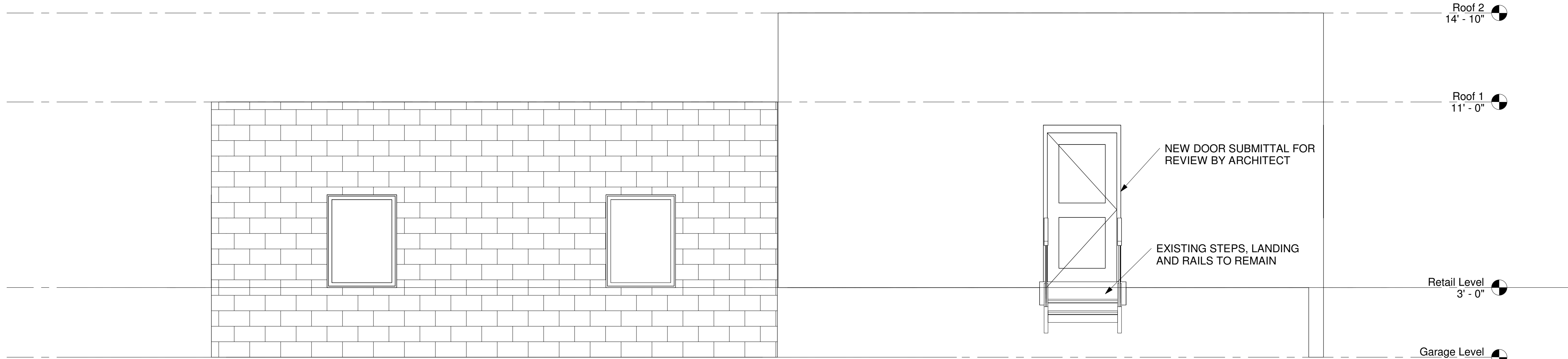
246 E. WATER ST,
ROCKLAND, MA

FIRST FLOOR LAYOUT	
Project number	23165
Date	02/04/2024
Drawn by	KL
Checked by	SK
Scale	As indicated

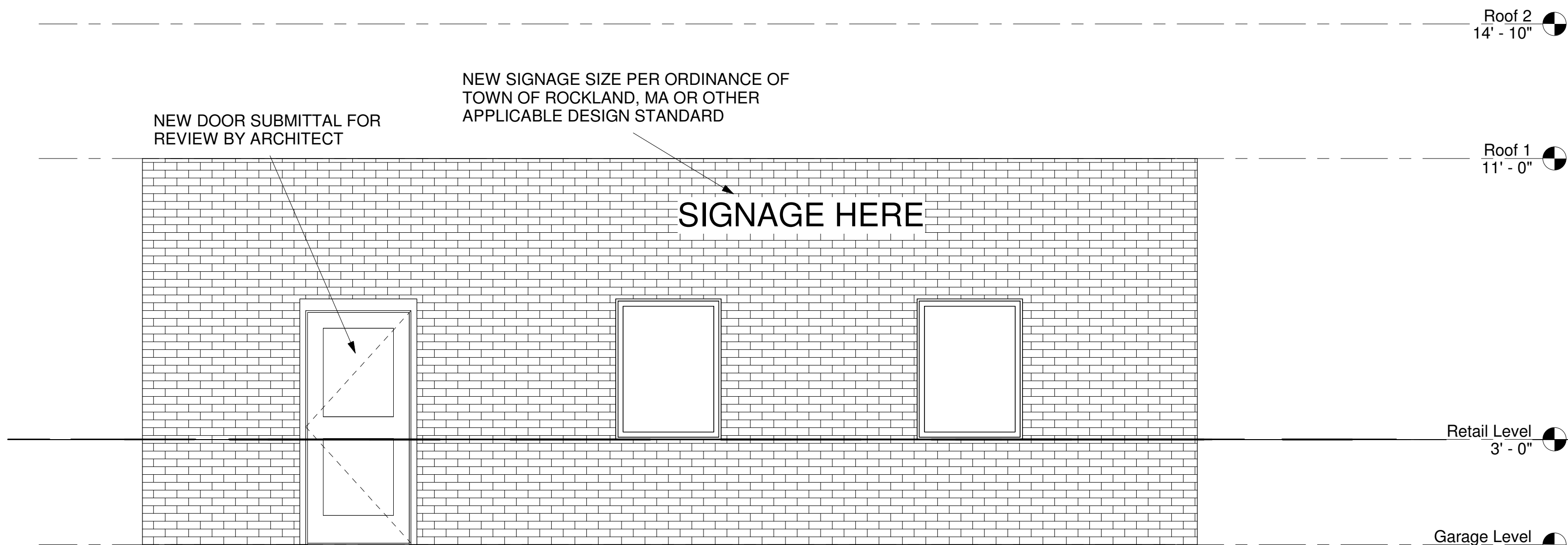
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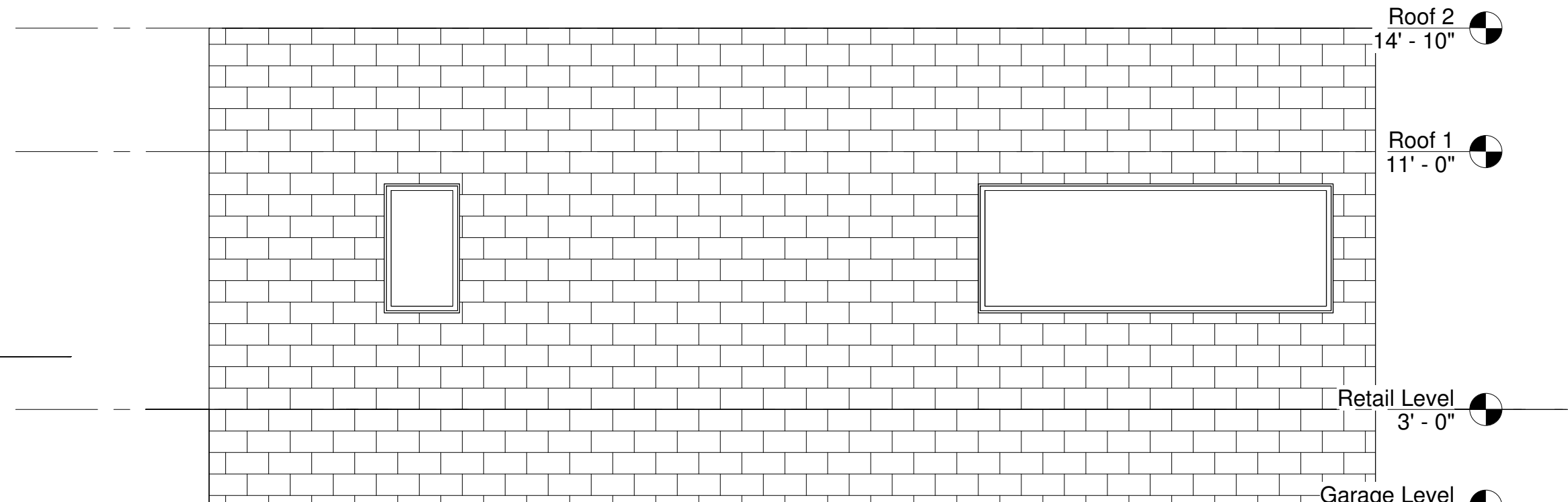
1 FRONT SOUTH ELEVATION
3/8" = 1'-0"



2 NORTH ELEVATION
3/8" = 1'-0"



3 EAST
3/8" = 1'-0"



4 WEST
1/4" = 1'-0"

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17802(ME), 23000059(WA),



246 E. WATER ST., REALTY

246 E. WATER ST.,
ROCKLAND, MA

ELEVATION - NORTH,
SOUTH AND EAST

Project number 23166
Date 02/4/2024
Drawn by KL
Checked by SK

A4

Scale As indicated

2/12/2024 6:55:54 PM



LEGEND

- IRON PIPE
- EOP — EDGE OF PAVEMENT
- VGC — VERTICAL GRANITE CURB
- VCC — VERTICAL CONCRETE CURB
- CCB — CAPE COD BERM
- 123.8x — SPOT ELEVATION
- ⊕ UP — UTILITY POLE
- OHW — OVERHEAD WIRES
- ⊕ — ELECTRIC METER
- MH — MANHOLE
- ⊕ SMH — SEWER MANHOLE
- S — S — SEWER LINE
- ⊕ WG — WATER GATE
- ⊕ — WATER METER
- ⊕ — GAS FILL
- ⊕ — MONITOR WELL
- ⊕ DMH — DRAIN MANHOLE
- ⊕ CB — CATCH BASIN
- ⊕ — SIGN
- ⊕ TWS — TACTILE WARNING STRIP
- — TREE (SIZE AND TYPE SHOWN)

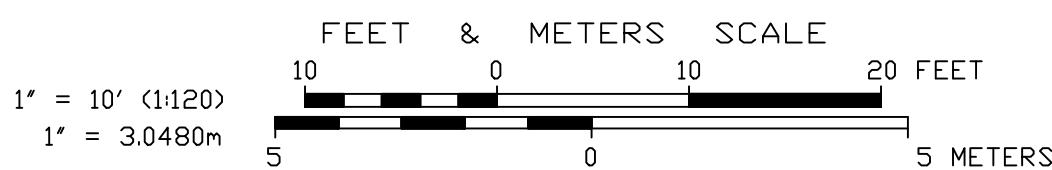
REFERENCE

DEED REFERENCE: PLYMOUTH COUNTY REGISTRY OF DEEDS
BOOK 19268, PAGE 41

PLAN REFERENCE: MORTGAGE INSPECTION PLAN PREPARED
BY FLEMING & MCCARTHY LAND
SURVEYORS, DATED MARCH 13, 1989

NOTES

- SUBJECT TO ANY STATEMENT OF FACT AN UP-TO-DATE
ABSTRACT OF TITLE WOULD DISCLOSE.
- SUBJECT TO ALL RIGHTS, EASEMENTS, COVENANTS OR
RESTRICTIONS OF RECORD.
- UNDERGROUND UTILITIES, STRUCTURES AND FACILITIES,
IF ANY, HAVE BEEN SHOWN FROM SURFACE LOCATIONS
AND MEASUREMENTS OBTAINED FROM A FIELD SURVEY
AND RECORD LOCATIONS, THEREFORE THEIR LOCATIONS
MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY
BE OTHER UTILITIES WHICH THE EXISTENCE OF ARE NOT
KNOWN. SIZE, TYPE AND LOCATION OF ALL UTILITIES
AND STRUCTURES MUST BE VERIFIED BY PROPER
AUTHORITIES PRIOR TO ANY AND ALL CONSTRUCTION.
CALL, TOLL FREE, DIG SAFE CALL CENTER AT
1-888-344-7233 SEVENTY-TWO HOURS PRIOR TO ANY
EXCAVATION.
- HORIZONTAL LOCATIONS ON THIS PLAN REFERENCE THE
NORTH AMERICAN DATUM OF 1983 (NAD 83).
ELEVATIONS REFERENCE THE NORTH AMERICAN VERTICAL
DATUM OF 1988 (NAVD 88).
- THE PARCEL SHOWN HEREON IS SUBJECT TO A TEN
FOOT RIGHT OF WAY ALONG A PORTION OF THE
EASTERLY PROPERTY LINE FROM EAST WATER STREET
PREPARED FOR SUN OIL COMPANY (SEE DEED
REFERENCE).



ZONING DESIGNATION:

TOWN OF ROCKLAND ZONING DISTRICT
RESIDENTIAL - 3 (R-3)

ASSESSORS REFERENCE:

MAP 40, PARCEL 87

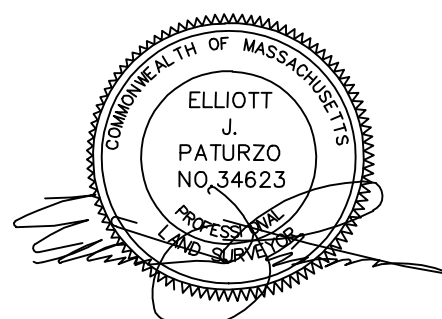
I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY
PERFORMED ON THE GROUND ON DECEMBER 19, 2023, AND THE
LATEST PLANS AND DEEDS OF RECORD.

I CERTIFY THAT THE SUBJECT DWELLING SHOWN LIES IN A ZONE "X",
SHOWN ON MAP NUMBER 25023C0093K, HAVING AN EFFECTIVE
DATE OF JULY 6, 2021.

REVISIONS

DATE	DESCRIPTION

FIELD: DMD
CALCS: EJP/SMI
DRAWN BY: SMI
FIELD EDIT: N/A
CHECKED: EJP
APPROVED:
JOB #: 2311027



2/2/24

PROFESSIONAL LAND SURVEYOR DATE

A.S. Elliott & Associates

Professional Land Surveyors

P.O. BOX 85 ~ HOPEDALE, MA 01747

(508) 634-0256

www.aselliott.com

**Existing Conditions
Plan of Land**

246 EAST WATER STREET

ROCKLAND, MASSACHUSETTS

PREPARED FOR: PATEL RAVI

SCALE: 1" = 10'

DATE: DECEMBER 19, 2023

TOWN OF ROCKLAND, MA DIMENSIONAL REGULATIONS:
RESIDENTIAL - 3 (R-3)

	REQUIRED	EXISTING
MINIMUM LOT AREA	32,670 S.F.	11,299 S.F.
MAXIMUM NUMBER OF DWELLING UNITS PER LOT	2	2
MAXIMUM BUILDING AVERAGE PERCENTAGE OF LOT	35%	14%
MAXIMUM BUILDING HEIGHT	3 STORIES/36'	1.5 STORIES
MINIMUM FRONT YARD	25'	10.6'
MINIMUM REAR YARD	50'	79.0'
MINIMUM SIDE YARD	15'	25.6'

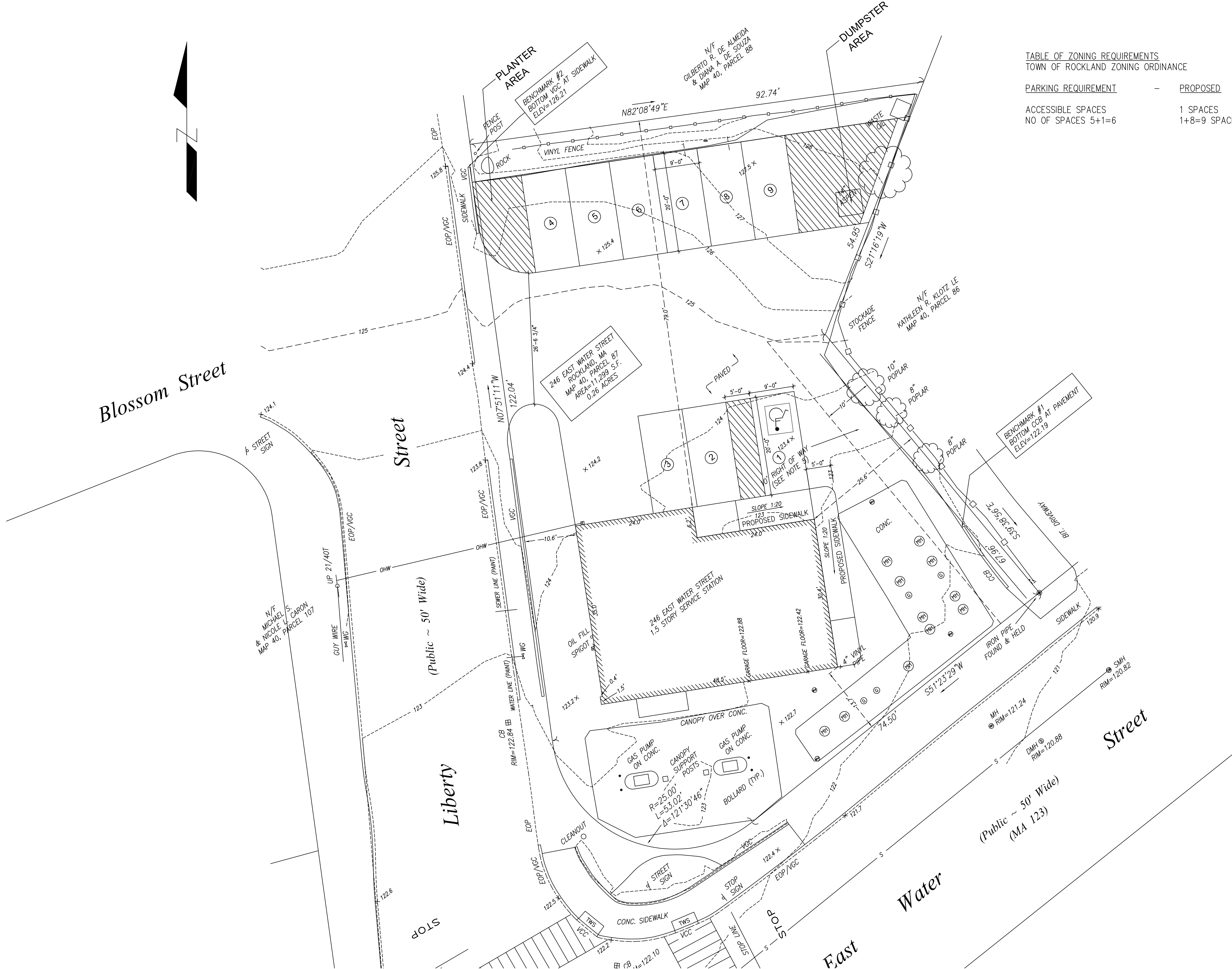
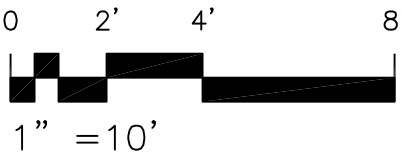


TABLE OF ZONING REQUIREMENTS
TOWN OF ROCKLAND ZONING ORDINANCE

PARKING REQUIREMENT	PROPOSED	WAIVER REQUESTED
ACCESSIBLE SPACES	1 SPACES	NONE
NO OF SPACES 5+1=6	1+8=9 SPACES	NONE



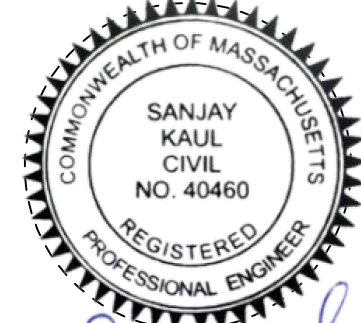
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No.	Description	Date



246 E. WATER ST. REALTY, LLC.

246 E. WATER ST.
ROCKLAND, MA

PARKING PLAN

Project number	23165
Date	02/04/2024
Drawn by	KL
Checked by	SK

C1

Scale As indicated